

# Council Assessment Panel Agenda & Reports

**15 December 2025**

## **Our Vision**

*A City which values its heritage, cultural diversity,  
sense of place and natural environment.*

*A progressive City which is prosperous, sustainable  
and socially cohesive, with a strong community spirit.*

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City of  
Norwood  
Payneham  
& St Peters

10 December 2025

### **To all Members of the Council Assessment Panel:**

- Mr Stephen Smith (Presiding Member)
- Mr Julian Rutt
- Cr Christel Mex
- Mr Paul Mickan (Deputy Member)
- Mr Mark Adcock
- Mr Ross Bateup
- Cr Kester Moorhouse (Deputy Member)

### **NOTICE OF MEETING**

I wish to advise that pursuant to Clause 1.5 of the Meeting Procedures, the next Ordinary Meeting of the Norwood Payneham & St Peters Council Assessment Panel, will be held in the Council Chambers, Norwood Town Hall, 175 The Parade, Norwood, on:

**Monday 15 December 2025, commencing at 6.30pm.**

Please advise Daniella Hadgis on 8366 4508 or email [dhadgis@npsp.sa.gov.au](mailto:dhadgis@npsp.sa.gov.au) if you are unable to attend this meeting or will be late.

Yours faithfully



**Geoff Parsons**  
**ASSESSMENT MANAGER**

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City of  
Norwood  
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**VENUE** Council Chambers, Norwood Town Hall

**HOUR** 6.30PM

**PRESENT**

**Panel Members** Mr Stephen Smith  
Mr Mark Adcock  
Mr Ross Bateup  
Mr Julian Rutt  
Cr Kester Moorhouse

**Staff** Geoff Parsons - Manager, Development & Regulatory Services  
Kieran Fairbrother – Senior Urban Planner  
Ned Feary – Senior Urban Planner  
Marie Molinaro – Urban Planner  
Mark Thomson – Consultant Planner  
Daniella Hadgis – Administration Officer

**APOLOGIES** Cr Christel Mex

**ABSENT**

- 1. COMMENCEMENT AND WELCOME**
- 2. APOLOGIES**
- 3. CONFIRMATION OF THE MINUTES OF THE MEETING OF THE COUNCIL ASSESSMENT PANEL HELD ON 17 NOVEMBER 2025**
- 4. DECLARATION OF INTERESTS**

**5. DEVELOPMENT APPLICATIONS – PDI ACT**

**5.1 DEVELOPMENT NUMBER – ID 23030946 – DAMIAN CAMPAGNARO – 38 FLINDERS STREET KENT TOWN SA 5067**

<b>DEVELOPMENT NO.:</b>	23030946
<b>APPLICANT:</b>	Damian Campagnaro
<b>ADDRESS:</b>	38 FLINDERS ST KENT TOWN SA 5067
<b>NATURE OF DEVELOPMENT:</b>	three storey additions and alterations to an existing dwelling, involving the creation of one additional dwelling, and a front fence
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Established Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Future Road Widening</li> <li>• Historic Area</li> <li>• Hazards (Flooding - General)</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Traffic Generating Development</li> <li>• Urban Transport Routes</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Site Area (Minimum site area is 200 sqm)</li> <li>• Maximum Building Height (Levels) (Maximum building height is 2 levels)</li> </ul>
<b>LODGEMENT DATE:</b>	29 Nov 2023
<b>RELEVANT AUTHORITY:</b>	Assessment panel at City of Norwood Payneham & St Peters
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) - Version 2023.17 23/11/2023
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Mark Thomson Consultant Planner
<b>REFERRALS STATUTORY:</b>	Nil
<b>REFERRALS NON-STATUTORY:</b>	Heritage Advisor

**CONTENTS:**

<b>APPENDIX 1:</b>	<b>Relevant P&amp;D Code Policies</b>
<b>ATTACHMENT 1:</b>	<b>Application Documents</b>
<b>ATTACHMENT 2:</b>	<b>Representations</b>
<b>ATTACHMENT 3:</b>	<b>Response to Representations</b>
<b>ATTACHMENT 4:</b>	<b>Heritage Advisor Advice</b>

## DETAILED DESCRIPTION OF PROPOSAL:

The proposal is to retain the original hipped roof, four-room cottage at the front of the site and to construct a three-storey addition to the rear containing two dwellings and a common basement car parking level.

One of the proposed dwellings (referred to as Apartment A on the plans) is comprised of an informal living area within the proposed building and use of the existing cottage as studio space at ground level, and 3 bedrooms and a living/dining/kitchen area at First Floor level. Private open space for this dwelling is proposed within a courtyard at ground level and within balconies at the front and rear of the first-floor level.

The second dwelling (referred to as Apartment B on the plans) is located entirely at Second Floor level and comprises 3 bedrooms. Private open space is provided within balconies at the front and rear.

The basement level contains 6 car parking spaces, with access proposed via Little Wakefield Street. This level extends all the way to the rear of the existing cottage below ground level, and the applicant has advised that the construction would involve a physical connection between the two structures. Therefore, the proposed building work comprises additions which effectively convert the existing building into a residential flat building containing 2 dwellings.

The external walls at ground level comprise face brick to a height of 1.2m with continuous windows above. The First Floor and Second Floor level external walls comprise face brick, with all windows and balconies partly concealed by a 'skin' of hit-and-miss pattern brickwork. The corners of the building are curved. All bricks are proposed to be red bricks.

Restoration work to the existing cottage is proposed to include replacement of the front verandah with a concave verandah with timber federation style fret work and central gable element, removal of render from the façade, replacement of the roofing and re-working of the chimney.

A timber picket fence is proposed along the Flinders Street frontage, to replace the existing brush fence.

## BACKGROUND:

Development Application 23030946 was lodged in October 2023, seeking Planning Consent to demolish the existing dwelling and to construct a three-level residential flat building containing two dwellings.

On 26 October 2023, the applicant was requested to provide an engineer's report on the structural integrity and condition of the dwelling. Although an engineer's report was provided, it did not substantiate a recommendation for underpinning. Specifically, the report did not adequately detail the extent and severity of cracking to walls. This additional information was requested, however was not formally provided. The applicant's engineer verbally advised that the cracking is not severe and that the recommendation for underpinning was a precautionary approach, to prevent potential future cracking.

Upon receiving advice from the Council's assessing planner that the demolition was not supported, the applicant varied the application, to include retention and restoration of the existing dwelling.

## SUBJECT LAND & LOCALITY:

### Site Description:

**Location reference:** 38 FLINDERS ST KENT TOWN SA 5067

**Title ref.:** CT 5897/932  
**Plan Parcel:** F100137 AL20

**Council:** THE CITY OF NORWOOD PAYNEHAM AND  
ST PETERS

The subject land is a rectangular shaped allotment with a primary street frontage to Flinders Street and a secondary street frontage to Little Wakefield Street, both of 11.28m, and a depth of 48.16m, resulting in a site area of 555m<sup>2</sup>.

The land contains a hipped roof cottage with rear lean-to at the front of the site and a freestanding garage at the rear adjacent to Little Wakefield Street. A brush fence is located along the Flinders Street boundary.

The land has a gradual slope from back to front of approximately 700mm over the 48.16m depth.

*Figure 1. Subject Land, as viewed from Flinders Street*



## Locality

The locality of the subject land is considered to extend along Flinders Street and Little Wakefield Street approximately 80m to the north-east and south-west as shown in Figure 2.

The entire locality is within the Historic Area Overlay, Established Neighbourhood Zone and 2 Level Maximum Building Height (Levels) Technical Numeric Variations (TNV) layer.

Within the Flinders Street part of the locality, the character differs between that to the north-east of the subject land and that to the south-west. To the north-east, between the subject land and Fullarton Road, the streetscape contains entirely original historic buildings, including cottages, maisonettes and villas. To the south-west, the streetscape contains a mix of historic single storey buildings and more recent 2 and 3 storey buildings. Examples of 2 storey buildings are located at 30, 32a and 36 Flinders Street. Examples of 3 storey buildings are located at 27 Flinders Street.

The Little Wakefield Street part of the locality is characterised by a mix of single storey garaging servicing properties which front onto Flinders Street and Wakefield Street, and 2 storey dwellings fronting the laneway. Directly adjacent the subject land at 49 Little Wakefield Street is a pair of 3 storey townhouses.

*Figure 2. Locality of the subject land*



**CONSENT TYPE REQUIRED:**

Planning Consent

**CATEGORY OF DEVELOPMENT:**

- **PER ELEMENT:**  
Partial Demolition: Code Assessed - Performance Assessed  
Residential flat building: Code Assessed - Performance Assessed  
Fence – Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
There is no alternative assessment pathway for either of the elements within the Historic Area Overlay.

## PUBLIC NOTIFICATION

- **REASON**

The proposed development exceeds two building levels in height.

- **LIST OF REPRESENTATIONS**

Given Name	Family Name	Address	Position on Application	Wishes to be Heard
Richard	Thomson		Opposed	No
David	Osborn		Opposed	Yes

- **SUMMARY**

Mr Thomson is concerned that the proposed 3 storey addition is not the same character as the original building or nearby buildings. In addition, Mr Thomson is concerned that the addition will appear substantive and imposing when viewed from Flinders Street.

Mr Osborn is concerned with the impact of the proposal on the character of Little Wakefield Street; particularly the dominance that it would have on the streetscape. Mr Osborn is also concerned that the design of the addition is not consistent with heritage style houses in the local area, suggesting that it looks like a school gymnasium. Mr Osborn is also concerned that neighbouring properties would be overlooked, including by a roof deck.

The applicant has responded to the representations. In summary, the applicant has advised:

- The proposal includes the restoration of the original cottage;
- The rear addition is designed to sit recessively behind the cottage, as a subordinate and complementary 'backdrop' element;
- Although distinctly modern, the rear addition sits comfortably with the streetscape in terms of scale, proportion and rhythm. The height aligns closely with neighbouring buildings.
- The proposal seeks to complement the historic buildings in the locality through contrast, rather than replication; and
- The upper level has been designed to minimise overlooking through the use of screening and orientation.

## AGENCY REFERRALS

Nil

## INTERNAL REFERRALS

The application was referred to the Council's Heritage Advisor, David Brown. Mr Brown's comments are summarised below:

- The proposal to restore the original cottage is a great outcome for the streetscape, as is the replacement front fence;
- The proposed addition is in keeping with the scale of later buildings in the area, with the streetscape scale of modest cottages retained through the retention of the existing cottage at the front of the site;
- The separation between the new building and the cottage assists with it reading as a new structure at the rear of the site, rather than attempting to add on to the old building;

- The scale of the new building is somewhat overbearing, but given the context with the flats to the south-west and other tall buildings in this part of Flinders Street, it is somewhat tolerable;
- The design has some merit in the materials and form;
- Not really comfortable with the height, but to a certain extent the area is already quite compromised.

## PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

### Question of Seriously at Variance

The proposed development comprises the construction of three storey additions to an existing dwelling, involving the creation of one additional dwelling, and a front fence. It is located in the Established Neighbourhood Zone and Historic Area Overlay. Development of this nature on the subject land is broadly appropriate for the following reasons.

- Various housing types are anticipated in the Established Neighbourhood Zone;
- The resultant density is consistent with the relevant Minimum Site Area TNV of 200m<sup>2</sup> per dwelling;
- The proposed building height contributes to the prevailing character of the neighbourhood and complements the height of nearby buildings;

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

### Land Use and Intensity

The Established Neighbourhood Zone is intended to accommodate predominantly residential development, together with complementary non-residential activities. Dwellings are listed in DPF 1.1 as a suitable land use within the zone and Desired Outcome 1 explains that “a range of housing types” are desired. Therefore, the proposal apartment style accommodation is generally appropriate from a land use perspective.

Performance Outcome 2.1 of the Established Neighbourhood Zone states:

*Allotments/sites for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and are compatible with the prevailing development pattern in the locality.*

As stated above, the anticipated dwelling form in the Established Neighbourhood Zone is varied. The locality contains a wide mix of dwelling forms, including detached and semi-detached dwellings, as well as several examples of dwellings within residential flat buildings. The number of examples of the latter are considered to be sufficiently great that they form part of the prevailing development pattern of the locality, rather than being an anomaly.

DPF 2.1 provides the following two potential ways of increasing density while achieving PO 2.1:

1. Development involving the conversion of an existing dwelling into two or more dwellings and the existing dwelling retains its original external appearance to the public road; or
2. Providing a minimum site area per dwelling of 200m<sup>2</sup>.

The average site area per dwelling resulting from the proposal is 278m<sup>2</sup>, thereby satisfying the second method. While the wording of the first method suggests that it was intended to relate to the conversion of a detached dwelling into a pair of semi-detached dwelling, the proposal has the same outcome, with the existing dwelling retaining its original external appearance from the road and the development increasing density from one to two dwellings. Therefore, the proposal is also consistent with the first method.

### Site Coverage

Performance Outcome 3.1 of the Established Neighbourhood Zone states:

*Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.*

The default maximum site coverage, as stated in DPF 3.1, is 50%.

The proposed extent of site coverage is 68%. This has been calculated according to the definition in the Code, whereas it appears that the figure listed in the application plans (42%) relates to the ground floor plan only and does not factor in the floor levels above.

The extent of site coverage within the locality varies greatly. The historic row dwellings at 40 and 42 Flinders Street have high site coverage, in the order of 70%. Several other properties in the locality also have high site coverage, particularly those that have been sub-divided and include dwellings fronting both Flinders Street and Little Wakefield Street. Examples of properties that have site coverage at least as high as that which is proposed, are highlighted in yellow in Figure 3 below, with the subject land highlighted in red.

*Figure 3. Site Coverage in the Immediate Locality*



Accordingly, the proposed extent of site coverage is considered to be consistent with the character and pattern of the neighbourhood. Whether or not the extent of site coverage results in acceptable impacts to adjoining properties (the other consideration in PO 3.1) is considered under the heading of setbacks.

### Building Height

The issue of building height is dealt with at both the zone level, by Performance Outcome 4.1 of the Established Neighbourhood Zone, and at the overlay level by Performance Outcome 2.2 of the Historic Area Overlay; noting that overlay policies take precedence over zone policies to the extent of any inconsistency.

Performance Outcome 2.2 of the Historic Area Overlay states:

*Development is consistent with the prevailing building and wall heights in the historic area.*

The Kent Town 1 Historic Area Statement (NPSP7) notes the building height within the area as up to two storeys.

Performance Outcome 4.1 of the Established Neighbourhood Zone states:

*Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.*

The Designated Performance Feature associated with PO 4.1 is a maximum building height of 2 levels.

In summary, the Historic Area Overlay seeks buildings that are *consistent with the prevailing building heights in the area*, while the Established Neighbourhood Zone seeks buildings that *complement the height of nearby buildings*. Since overlay policy prevails to the extent of any inconsistency, the former is of greatest relevance to the assessment of the application.

The area is reflective of the Historic Area Statement, with very few examples of buildings exceeding two storeys being present. The proposal is therefore inconsistent with the prevailing building and wall heights in the historic area and in turn, PO 2.2 of the Historic Area Overlay.

That said, for the following reasons, the departure of the proposal from PO 2.2 of the Historic Area Overlay is not considered detrimental to the Desired Outcome of the Overlay:

- The upper-level addition is sufficiently set back from the street so as not to detract from the historic character of the streetscape; and
- While predominantly containing one and two storey buildings, the locality is not consistent with respect to building height, with some examples of three storey buildings present.

With respect to the first dot-point, the proposed 3 storey addition is set back 10.75m from the existing building line, 12.75m from the front verandah and 18.2m from the street boundary. At this distance, although readily visible from the street, the proposed 3 level building would be a relatively unobtrusive backdrop, rather than a dominant feature of the streetscape.

With respect to the second dot-point, below are images of two storey buildings within the locality:

*Figure 4. 3 storey building at 27 Flinders Street*



*Figure 5. 3 storey building at 49 & 49A Little Wakefield Street*



From within Flinders Street, the proposed 3 storey building would be largely, if not entirely obscured from view when approaching the site from the south-west, by the two-storey residential flat building located close to the street, on the adjoining property at 36 Flinders Street. Views of the building would be more open when approaching from the north-east, however would remain somewhat obscured by large street tree canopies.

On balance, the height of the proposed building is considered acceptable.

## Setbacks

Performance Outcome 8.1 of the Established Neighbourhood Zone states:

*Buildings are set back from side boundaries to provide:*

- a) separation between buildings in a way that complements the established character of the locality*
- b) access to natural light and ventilation for neighbours.*

The standard quantitative outcome for the Established Neighbourhood Zone, as stated in DPF 8.1, is for walls that exceed 3m in height to be set back from side boundaries by at least 900mm plus a distance equal to 1/3<sup>rd</sup> of the extent to which the wall height exceeds 3m from ground level.

With a wall height of 9.7m, this equation results in a setback criteria of 3.1m. The upper-level walls are proposed to be set back 1.0m from both side boundaries. Neither is a south boundary, according to the definition contained in Part 8 of the Code.

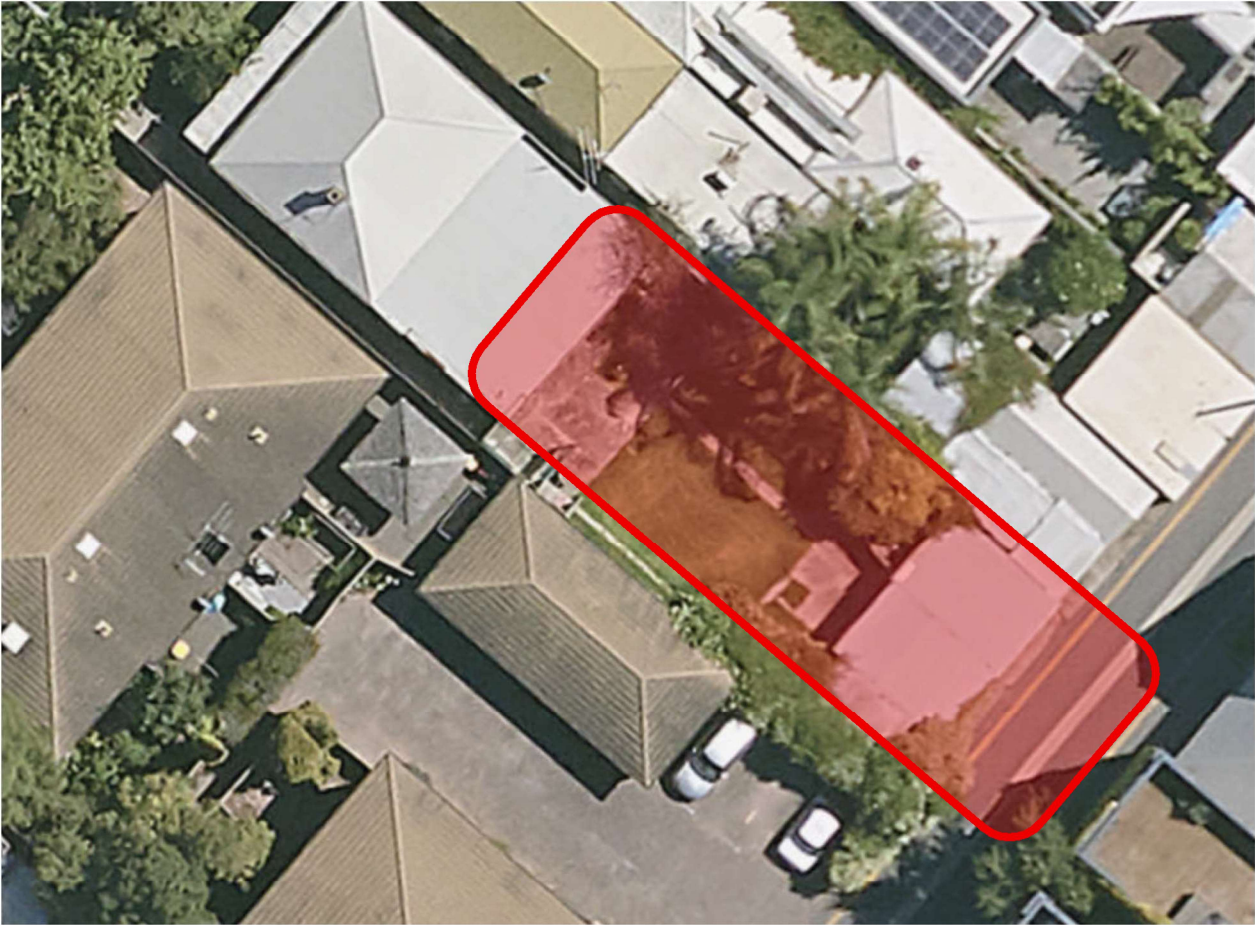
Having regard to part (a) of PO 8.1, buildings in the locality are generally very closely spaced, with minimal side boundary setbacks. The two-storey residential flat building on the adjoining site at 36 Flinders Street is set back approximately 1m from the boundary of the subject land to the upper level. In this context, and considering the distance of the proposed building from the street, the proposed 1m side setbacks are considered to provide sufficient separation between buildings to complement the established character of the locality.

Having regard to part (b) of PO 8.1, the following observations were made when visiting the site:

- most of the area of the adjoining property to the south-west which is located adjacent to the proposed building is car parking area, either covered or uncovered;
- a private open space courtyard associated with the nearest unit is mostly covered by a thatched 'Bali hut' structure, such that the shadowing which would be cast by the proposal in the mornings would have limited additional impact;
- the private open space associated with the adjoining property to the north-east includes a covered alfresco and a heavily vegetated open area. The alfresco has a low roof, approximately 1m higher than the top of the boundary fence. The primary outlook from both the covered and uncovered areas is to the rear.

Figure 6 below shows the relationship between the proposed building (approximately shown in red) and adjoining properties. Figures 7-9 are photographs taken of the adjoining properties from within the subject land.

*Figure 6. Siting relationship between the proposal and adjoining properties*



*Figure 7. View of covered private open space of adjoining property to the north-east*



*Figure 8. View of uncovered private open space of adjoining property to the north-east*



*Figure 9. View of courtyard with 'Bali hut' of adjoining property to the south-west*



On balance, the impacts of the proposal on the adjoining properties with respect to access to light and ventilation are considered acceptable. It is also noted that neither of the adjoining property owners or occupants submitted a representation in response to the public notification.

## Heritage

As outlined under the heading of Internal Referrals, the Council's Heritage Advisor has reviewed the application and is supportive of the immediate streetscape impacts of the proposal, insofar as the existing cottage is to be restored and an appropriate front fence is to be installed.

Mr Brown is also supportive of the general architectural approach, with the proposed addition forming a simple contemporary backdrop to the cottage, with appropriate visual separation between the two elements.

Mr Brown is somewhat concerned with the height of the building, but notes that the locality is largely 'compromised' already, insofar as it contains several large, bulky non-historic buildings.

Having regard to the advice of Mr Brown, the proposal is considered acceptable from a heritage perspective. Whilst from certain viewpoints the 3-storey building would be visible in the streetscape, in light of the mix of existing building types and scales in the locality, the proposal is unlikely to detract from the historic character, while in the other hand, the restoration of the existing cottage would make a positive contribution to the historic character.

## Traffic Impact, Access and Parking

According to *Table 1 – General Off-Street Car Parking Requirements*, the proposal generates a demand for 4 car parking spaces, of which at least 2 are to be covered. The proposal is consistent with this, with 6 spaces proposed. Whilst the aisle width is 200mm narrower than specified in AS/NZS 2890.1:2004, the car parking bays compensate for this, being 100mm longer and 280mm wider than the minimum standard.

## Overlooking

One of the representors raised a concern regarding overlooking and made reference to a roof deck. Whilst the plans show a roof hatch, the applicant has confirmed that is for maintenance access to the roof only.

All upper-level windows and balconies are proposed to be screened via a 'hit and miss' brickwork skin. According to DPF 10.1 and 10.2, this screening should have a maximum of 25% openings. As the specific details of the brickwork screening have not been provided, it is recommended that this be a reserved matter.

## Private Open Space

According to *Table 1 – Private Open Space* of the Design in Urban Areas module, Apartment 1 should have at least 15m<sup>2</sup> of private open space, with a minimum dimension of 3m, while Apartment 2 should have at least 15m<sup>2</sup> with a minimum dimension of 2.6m.

The proposal readily accords with these standards, with:

- Apartment 1 having approximately 53m<sup>2</sup> within the ground level courtyard, as well as approximately 35m<sup>2</sup> on the front balcony and 30m<sup>2</sup> on the rear balcony at First Floor level; and
- Apartment 2 having approximately 35m<sup>2</sup> on the front balcony and 30m<sup>2</sup> on the rear balcony at First Floor level.

## Landscaping

As the proposed development is not 'low rise' (due to being higher than 2 storeys) the quantitative standards for landscaping contained in DPF 22.1 of the Design in Urban Areas module do not apply. Instead, DPF 13.2 applies, seeking a deep soil zone equating to 7% of the site area, with a minimum dimension of 3m and incorporating an area of 30m<sup>2</sup> for the planting of 1 medium tree.

The proposal is consistent with DPF 13.2, with the area between the front of the cottage and the front boundary having an area of 63m<sup>2</sup>, equating to 11% of the site area. Two *Ginko Baloba* trees are proposed in this location.

## CONCLUSION

The proposed development involves the construction of a 3 level (plus basement) building, to the rear of an existing cottage, which is to be restored. The entire ground level (including that of the existing cottage) and First Floor level are proposed to comprise one dwelling, while the Second Floor level is proposed to comprise a second dwelling.

The resulting density of development is consistent with that envisaged in the Established Neighbourhood Zone, as is the proposal to retain the existing historic building while increasing the dwelling yield of the site.

The 3-level height of the proposal is inconsistent with the quantitative 'standard outcomes' that apply to buildings in the Established Neighbourhood Zone and Historic Area Overlay. That said, as a result of the siting of the building at the rear of the site and the range of building heights in the locality, the relevant performance outcomes are considered to be reasonably achieved.

Upper-level side setbacks are also less than the quantitative standard outcome relevant to development in the Established Neighbourhood Zone. However, as a result of the compact siting characteristics of development in the locality and the specific layout of private open space on adjoining land, the impacts of the proposed setbacks are considered acceptable.

On balance, the proposal is considered to sufficiently accord with the Planning and Design Code to merit consent.

## RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 23030946, by Damian Campagnaro is granted Planning Consent subject to the following conditions and reserved matter:

## RESERVED MATTER

Pursuant to Section 102(3) of the Planning, Development & Infrastructure Act 2016, the following matters shall be reserved for further assessment prior to the granting of Development Approval.

#### Reserved Matter 1

Detailed design of the brickwork screen shall be provided to the reasonable satisfaction of the Assessment Manager, including adjacent to windows and balconies, so as to provide sufficient privacy to adjacent properties.

*NOTE: Further conditions may be imposed on the Planning Consent in respect of the above matters.*

*Pursuant to Section 127(1) of the Planning, Development and Infrastructure Act 2016, the power to impose further conditions of consent in respect of the reserved matter(s) above is delegated to the Assessment Manager.*

#### CONDITIONS

##### **Planning Consent**

###### Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

###### Condition 2

The approved development must include rainwater tank storage which is:

1. connected to at least 80% of the roof area;
2. connected to one toilet and either the laundry cold water outlets or hot water service;
3. with a minimum retention capacity of 2000 litres;
4. if the site perviousness is less than 30%, with a minimum detention capacity of 1000 litres; and
5. where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank

within 12 months of occupation of the dwelling(s).

###### Condition 3

Trees must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.

###### Condition 4

All areas nominated as landscaping or garden areas on the approved plans shall be planted with a suitable mix and density of trees, shrubs and groundcovers within the next available planting season after the occupation of the premises to the reasonable satisfaction of the Assessment Manager and such plants, as well as any existing plants which are shown to be retained, shall be nurtured and maintained in good health and condition at all times, with any diseased or dying plants being replaced, to the reasonable satisfaction of the Council.

###### Condition 5

All stormwater from buildings and hard-surfaced areas shall be disposed of in accordance with recognised engineering practices in a manner and with materials that does not result in the entry of water onto any adjoining property or any building, and does not affect the stability of any building and in all instances the stormwater drainage system shall be directly connected into either the adjacent street kerb & water table or a Council underground pipe drainage system.

## **ADVISORY NOTES**

### **Planning Consent**

#### **Advisory Note 1**

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves.

Further information is available by contacting the EPA.

#### **Advisory Note 2**

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

#### **Advisory Note 3**

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

#### **Advisory Note 4**

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections) will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

#### **Advisory Note 5**

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

#### **Advisory Note 6**

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

#### **Advisory Note 7**

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

**Advisory Note 8**

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at [townhall@npsp.sa.gov.au](mailto:townhall@npsp.sa.gov.au). Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

**Advisory Note 9**

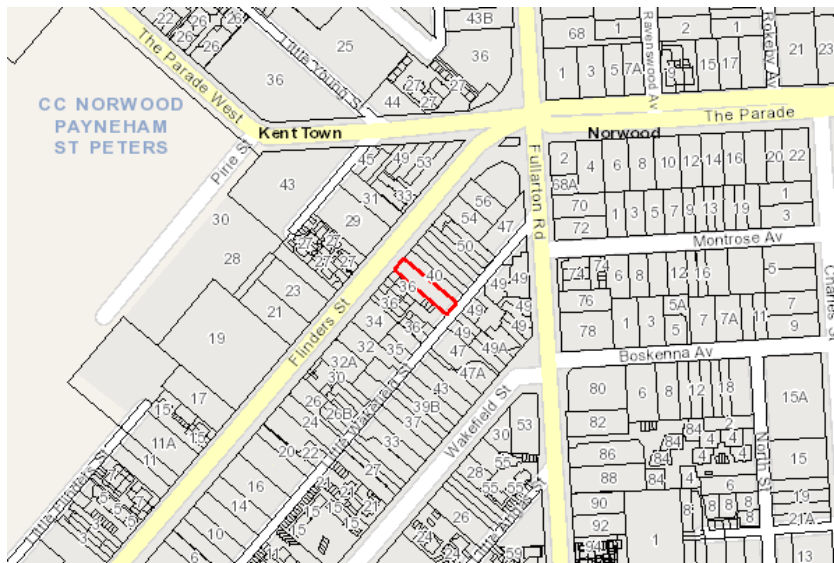
No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

38 FLINDERS ST KENT TOWN SA 5067

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below



## Property Zoning Details

Zone	Established Neighbourhood
Overlay	Airport Building Heights (Regulated) (All structures over 110 metres) Future Road Widening Historic Area (NPSP7) Hazards (Flooding - General) Prescribed Wells Area Regulated and Significant Tree Stormwater Management Traffic Generating Development Urban Transport Routes Urban Tree Canopy
Local Variation (TNV)	Minimum Site Area (Minimum site area is 200 sqm) Maximum Building Height (Levels) (Maximum building height is 2 levels)

## Selected Development(s)

Residential flat building

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

## Residential flat building - Code Assessed - Performance Assessed

### Part 2 - Zones and Sub Zones

#### Established Neighbourhood Zone

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

### Desired Outcome

DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

## Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<b>PO 1.1</b>  Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.	<b>DTS/DPF 1.1</b>  Development comprises one or more of the following: <ul style="list-style-type: none"> <li>(a) Ancillary accommodation</li> <li>(b) Community facility</li> <li>(c) Consulting room</li> <li>(d) Dwelling</li> <li>(e) Office</li> <li>(f) Recreation area</li> <li>(g) Shop.</li> </ul>
Site Dimensions and Land Division	
<b>PO 2.1</b>  Allotments/sites for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and are compatible with the prevailing development pattern in the locality.	<b>DTS/DPF 2.1</b>  Development will not result in more than 1 dwelling on an existing allotment  or  Development involves the conversion of an existing dwelling into two or more dwellings and the existing dwelling retains its original external appearance to the public road  or  Allotments/sites for residential purposes accord with the following: <ul style="list-style-type: none"> <li>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</li> </ul> <div style="background-color: #003366; color: white; text-align: center; padding: 5px;"><b>Minimum Site Area</b></div> <div style="border: 1px solid black; padding: 2px;">Minimum site area is 200 sqm</div> and <ul style="list-style-type: none"> <li>(b) site frontages (or allotment frontages in the case of land division) are not less than:</li> </ul> In relation to DTS/DPF 2.1, in instances where: <ul style="list-style-type: none"> <li>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</li> <li>(d) no value is returned in (a) or (b) (i.e. there is a blank field or the relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.</li> </ul>
<b>PO 2.2</b>	<b>DTS/DPF 2.2</b>

Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.		Where the site of a dwelling does not comprise an entire allotment:							
		<div>(a)the balance of the allotment accords with the requirements specified in Established Neighbourhood Zone DTS/DPF 2.1, with 10% reduction in minimum site area where located in a Character Area Overlay or Historic Area Overlay</div> <div>(b)if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:<div>(i)private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space</div><div>(ii)car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</div></div>							
Site coverage									
<div>PO 3.1</div> <div>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</div>		<div>DTS/DPF 3.1</div> <div>Development does not result in site coverage exceeding:</div> <div>In instances where:</div> <div>(a)no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</div> <div>(b)more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</div>							
Building Height									
<div>PO 4.1</div> <div>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</div>		<div>DTS/DPF 4.1</div> <div>Building height (excluding garages, carports and outbuildings) is no greater than:</div> <div>(a)the following:</div> <div><div>Maximum Building Height (Levels)</div><div>Maximum building height is 2 levels</div></div> <div>(b)in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</div> <div>In relation to DTS/DPF 4.1, in instances where:</div> <div>(c)more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.</div> <div>(d)only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</div>							
Primary Street Setback									
<div>PO 5.1</div> <div>Buildings are set back from primary street boundaries consistent with the existing streetscape.</div>		<div>DTS/DPF 5.1</div> <div>Buildings setback from the primary street boundary in accordance with the following table:</div> <table><tr><th>Development Context</th><th>Minimum setback</th></tr><tr><td>There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.</td><td>The average setback of the existing buildings.</td></tr><tr><td>There is an existing building on only one abutting</td><td>The setback of the existing</td></tr></table>		Development Context	Minimum setback	There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.	There is an existing building on only one abutting	The setback of the existing
Development Context	Minimum setback								
There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.								
There is an existing building on only one abutting	The setback of the existing								

	site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	building.
	There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	<div>(a) Where the existing building shares the same primary street frontage – the setback of the existing building</div> <div>(b) Where the existing building has a different primary street frontage - no DTS / DPF is applicable</div>
	There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	No DTS/DPF is applicable.
	<div>For the purposes of <b>DTS/DPF 5.1</b>:</div> <div>(a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback</div> <div>(b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table</div>	
Secondary Street Setback		
<div><b>PO 6.1</b></div> <div>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.</div>	<div><b>DTS/DPF 6.1</b></div> <div>Building walls are set back from the secondary street boundary (other than a rear laneway):</div> <div>(a) no less than:</div> <div>or</div> <div>(b) 900mm, whichever is greater</div> <div>or</div> <div>(c) if a building (except for ancillary buildings and structures) on any adjoining allotment is closer to the secondary street, not less than the distance of that building from the boundary with the secondary street.</div> <div>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</div>	
Boundary Walls		
<div><b>PO 7.1</b></div> <div>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</div>	<div><b>DTS/DPF 7.1</b></div> <div>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</div> <div>(a)</div> <div>or</div> <div>(b) where no side boundary setback value is returned in (a) above, and except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</div> <div>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</div>	

	<p>(ii) side boundary walls do not:</p> <p>A. exceed 3.2m in wall height from the lower of the natural or finished ground level</p> <p>B. exceed 8m in length</p> <p>C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</p>
<p><b>PO 7.2</b></p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p><b>DTS/DPF 7.2</b></p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>
Side Boundary Setback	
<p><b>PO 8.1</b></p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <p>(a) no less than:</p> <p>(b) in all other cases (i.e., there is a blank field), then:</p> <p>(i) where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm</p> <p>(ii) for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level</p> <p>(iii) for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.</p>
Rear Boundary Setback	
<p><b>PO 9.1</b></p> <p>Buildings are set back from rear boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours</p> <p>(c) private open space</p> <p>(d) space for landscaping and vegetation.</p>	<p><b>DTS/DPF 9.1</b></p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <p>(a) 4m for the first building level</p> <p>(b) 6m for any second building level.</p>
Appearance	
<p><b>PO 10.1</b></p> <p>Garages and carports are designed and sited to be discreet and not dominate the appearance of the associated dwelling when viewed from the street.</p>	<p><b>DTS/DPF 10.1</b></p> <p>Garages and carports facing a street (other than an access lane way):</p> <p>(a) are set back at least 0.5m behind the building line of the associated dwelling</p> <p>(b) are set back at least 5.5m from the boundary of the primary street</p> <p>(c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.</p>

<b>PO 10.2</b>	<b>DTS/DPF 10.2</b>
The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.	None are applicable.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

<b>Class of Development (Column A)</b>	<b>Exceptions (Column B)</b>
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies</li> <li>or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) residential flat building.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1</li> <li>or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</li> <li>or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
4. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2</li> </ul>

<p>(c) shop.</p>	<p>or</p> <p>2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1</p> <p>or</p> <p>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:</p> <p>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</p> <p>or</p> <p>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</p>
<p>5. Any of the following (or of any combination of any of the following):</p> <p>(a) air handling unit, air conditioning system or exhaust fan</p> <p>(b) carport</p> <p>(c) deck</p> <p>(d) fence</p> <p>(e) internal building works</p> <p>(f) land division</p> <p>(g) outbuilding</p> <p>(h) pergola</p> <p>(i) private bushfire shelter</p> <p>(j) recreation area</p> <p>(k) replacement building</p> <p>(l) retaining wall</p> <p>(m) shade sail</p> <p>(n) solar photovoltaic panels (roof mounted)</p> <p>(o) swimming pool or spa pool and associated swimming pool safety features</p> <p>(p) temporary accommodation in an area affected by bushfire</p> <p>(q) tree damaging activity</p> <p>(r) verandah</p> <p>(s) water tank.</p>	<p>None specified.</p>
<p>6. Demolition.</p>	<p>Except any of the following:</p> <p>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</p> <p>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</p>
<p>7. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
<b>Placement of Notices - Exemptions for Performance Assessed Development</b>	
<p>None specified.</p>	
<b>Placement of Notices - Exemptions for Restricted Development</b>	
<p>None specified.</p>	

## Part 3 - Overlays

### Airport Building Heights (Regulated) Overlay

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
<b>PO 1.1</b>  Building height does not pose a hazard to the operation of a certified or registered aerodrome.	<b>DTS/DPF 1.1</b>  Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.  In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.
<b>PO 1.2</b>  Exhaust stacks are designed and sited to minimise plume impacts on aircraft movements associated with a certified or registered aerodrome.	<b>DTS/DPF 1.2</b>  Development does not include exhaust stacks.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development:  (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i>  (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Future Road Widening Overlay

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	Development which is consistent with and will not compromise efficient delivery of future road widening requirements.

## Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Future Road Widening	
<b>PO 1.1</b>  Development does not compromise or is located and designed to minimise its impact on future road widening requirements.	<b>DTS/DPF 1.1</b>  Development does not involve building work, or building work is located wholly outside the land subject to the 6m Consent Area, the C Type Requirement or the Strip Requirement of the Metropolitan Adelaide Road Widening Plan.

## Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Other than where all deemed-to-satisfy criteria for all policies relevant to this referral are met, development (including the division of land) that is within or may encroach within a Future Road Widening Area.	Commissioner of Highways.	To provide expert technical assessment and direction to the relevant authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 4 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Hazards (Flooding – General) Overlay

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
---------------------	---

Flood Resilience	
<b>PO 2.1</b>  Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	<b>DTS/DPF 2.1</b>  Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than:  In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Historic Area Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
<b>PO 1.1</b>  All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	<b>DTS/DPF 1.1</b>  None are applicable.
Built Form	
<b>PO 2.1</b>	<b>DTS/DPF 2.1</b>

The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	None are applicable.
<b>PO 2.2</b>  Development is consistent with the prevailing building and wall heights in the historic area.	<b>DTS/DPF 2.2</b>  None are applicable.
<b>PO 2.3</b>  Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	<b>DTS/DPF 2.3</b>  None are applicable.
<b>PO 2.4</b>  Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	<b>DTS/DPF 2.4</b>  None are applicable.
<b>PO 2.5</b>  Materials are either consistent with or complement those within the historic area.	<b>DTS/DPF 2.5</b>  None are applicable.
Context and Streetscape Amenity	
<b>PO 6.1</b>  The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.	<b>DTS/DPF 6.1</b>  None are applicable.
<b>PO 6.2</b>  Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	<b>DTS/DPF 6.2</b>  None are applicable.
Ruins	
<b>PO 8.1</b>  Development conserves and complements features and ruins associated with former activities of significance.	<b>DTS/DPF 8.1</b>  None are applicable.

## Historic Area Statements

Statement#	Statement
Historic Areas affecting City of Norwood, Payneham and St Peters	
	<b>Kent Town 1 Historic Area Statement (NPSP7)</b>
	The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of

Statement#	Statement	
NPSP7	<p>recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p>	
	Eras, themes and context	Pre 1890 (Victorian) and 1890-1915 (turn-of-the-century), 1915-1940 (bungalows). Range of dwelling types.
	Allotments, subdivision and built form patterns	Original historic pattern with large scale villas. Smaller scale row houses and courtyard-style housing on Little Angas and Little Wakefield Street frontages.
	Architectural styles, detailing and built form features	Large-scale Victorian and turn-of-the-century villas set well back from the street frontage in mature garden settings together with other historic buildings including cottages and bungalows.
	Building height	Up to two storeys.
	Materials	Stone, brick, natural coloured bagged render and/or brick as the main external finish to walls.
	Fencing	Generally low, reflecting the traditional period, style and form of the associated building.
	Setting, landscaping, streetscape and public realm features	[Not stated]
	Representative Buildings	[Not identified]

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Stormwater Management Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature												
<p><b>PO 1.1</b></p> <p>Residential development is designed to capture and re-use stormwater to:</p> <p>(a) maximise conservation of water resources</p> <p>(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded</p> <p>(c) manage stormwater runoff quality.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <p>(a) includes rainwater tank storage:</p> <p>(i) connected to at least:</p> <p>A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area</p> <p>B. in all other cases, 80% of the roof area</p> <p>(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m<sup>2</sup></p> <p>(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m<sup>2</sup> or greater</p> <p>(iv) with a minimum total capacity in accordance with Table 1</p> <p>(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank</p> <p>(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area</p> <p>Table 1: Rainwater Tank</p> <table><tr><th>Site size (m<sup>2</sup>)</th><th>Minimum retention volume (Litres)</th><th>Minimum detention volume (Litres)</th></tr><tr><td>&lt;200</td><td>1000</td><td>1000</td></tr><tr><td>200-400</td><td>2000</td><td>Site perviousness &lt;30%: 1000  Site perviousness ≥30%: N/A</td></tr><tr><td>&gt;401</td><td>4000</td><td>Site perviousness &lt;35%: 1000  Site perviousness ≥35%: N/A</td></tr></table>	Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)	<200	1000	1000	200-400	2000	Site perviousness <30%: 1000  Site perviousness ≥30%: N/A	>401	4000	Site perviousness <35%: 1000  Site perviousness ≥35%: N/A
Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)											
<200	1000	1000											
200-400	2000	Site perviousness <30%: 1000  Site perviousness ≥30%: N/A											
>401	4000	Site perviousness <35%: 1000  Site perviousness ≥35%: N/A											

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Traffic Generating Development Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

### Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
<b>PO 1.1</b>  Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.	<b>DTS/DPF 1.1</b>  Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<b>PO 1.2</b>  Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.	<b>DTS/DPF 1.2</b>  Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<b>PO 1.3</b>  Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network.	<b>DTS/DPF 1.3</b>  Access is obtained directly from a State Maintained Road where it involves any of the following types of development: <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> </ul>

(g) educational facilities with a capacity of 250 students or more.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p> <p>(a) except where a proposed development has previously been referred under clause (b) - a building, or buildings, containing in excess of 50 dwellings</p> <p>(b) except where a proposed development has previously been referred under clause (a) - land division creating 50 or more additional allotments</p> <p>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</p> <p>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</p> <p>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</p> <p>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</p> <p>(g) educational facilities with a capacity of 250 students or more.</p>	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Urban Transport Routes Overlay

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from Urban Transport Routes.

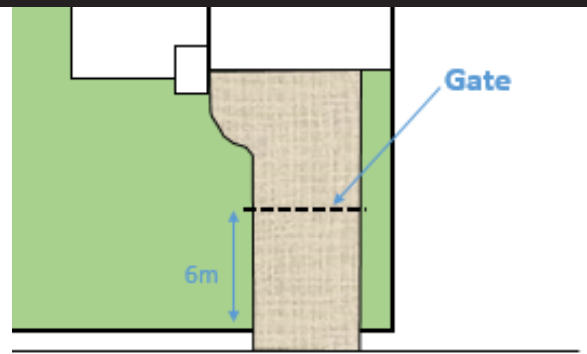
## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Access - Safe Entry and Exit (Traffic Flow)	
<p><b>PO 1.1</b></p> <p>Access is designed to allow safe entry and exit to and from a site to meet the needs of development and minimise traffic flow interference associated with access movements along adjacent State maintained roads.</p>	<p><b>DTS/DPF 1.1</b></p> <p>An access point satisfies (a), (b) or (c):</p> <p>(a) where servicing a single (1) dwelling / residential allotment:</p> <p>(i) it will not result in more than one access point</p> <p>(ii) vehicles can enter and exit the site in a forward direction</p> <p>(iii) vehicles can cross the property boundary at an angle between 70 degrees and 90 degrees</p>

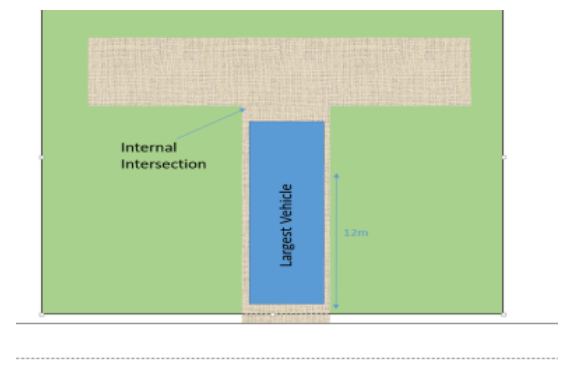
	<ul style="list-style-type: none"> <li>(iv) passenger vehicles (with a length up to 5.2m) can enter and exit the site wholly within the kerbside lane of the road</li> <li>(v) it will have a width of between 3m and 4m (measured at the site boundary)</li> </ul> <p>(b) where the development will result in 2 and up to 6 dwellings:</p> <ul style="list-style-type: none"> <li>(i) it will not result in more than one access point servicing the development site</li> <li>(ii) vehicles can enter and exit the site in a forward direction</li> <li>(iii) vehicles can cross the property boundary at an angle between 70 degrees and 90 degrees</li> <li>(iv) passenger vehicles (with a length up to 5.2m) can enter and exit the site wholly within the kerbside lane of the road</li> <li>(v) it will have a width of between 5.8m to 6m (measured at the site boundary) and an access depth of 6m (measured from the site boundary into the site)</li> </ul> <p>(c) where the development will result in 7 or more dwellings, or is a non-residential land use:</p> <ul style="list-style-type: none"> <li>(i) it will not result in more than one access point servicing the development site</li> <li>(ii) vehicles can enter and exit the site using left turn only movements</li> <li>(iii) vehicles can enter and exit the site in a forward direction</li> <li>(iv) vehicles can cross the property boundary at an angle between 70 degrees and 90 degrees</li> <li>(v) it will have a width of between 6m and 7m (measured at the site boundary), where the development is expected to accommodate vehicles with a length of 6.4m or less</li> <li>(vi) it will have a width of between 6m and 9m (measured at the site boundary), where the development is expected to accommodate vehicles with a length from 6.4m to 8.8m</li> <li>(vii) it will have a width of between 9m and 12m (measured at the site boundary), where the development is expected to accommodate vehicles with a length from 8.8m to 12.5m</li> <li>(viii) provides for simultaneous two-way vehicle movements at the access: <ul style="list-style-type: none"> <li>A. with entry and exit movements for vehicles with a length up to 5.2m vehicles being fully within the kerbside lane of the road</li> <li>and</li> <li>B. with entry movements of 8.8m vehicles (where relevant) being fully within the kerbside lane of the road and the exit movements of 8.8m vehicles do not cross the centreline of the road.</li> </ul> </li> </ul>
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Access - On-Site Queuing

<p><b>PO 2.1</b></p> <p>Sufficient accessible on-site queuing adjacent to access points is provided to meet the needs of development so that all vehicle queues can be contained fully within the boundaries of the development site, to minimise interruption on the functional performance of the road and maintain safe vehicle movements.</p>	<p><b>DTS/DPF 2.1</b></p> <p>An access point in accordance with one of the following:</p> <ul style="list-style-type: none"> <li>(a) will not service, or is not intended to service, more than 6 dwellings and there are no internal driveways, intersections, car parking spaces or gates within 6.0m of the access point (measured from the site boundary into the site) as shown in the following diagram:</li> </ul>
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- (b) will service, or is intended to service, development that will generate less than 60 vehicle movements per day, and:
- (i) is expected to be serviced by vehicles with a length no greater than 6.4m
  - (ii) there are no internal driveways, intersections, parking spaces or gates within 6.0m of the access point (measured from the site boundary into the site)
- (c) will service, or is intended to service, development that will generate less than 60 vehicle movements per day, and:
- (i) is expected to be serviced by vehicles with a length greater than a 6.4m small rigid vehicle
  - (ii) there are no internal driveways, intersections, parking spaces or gates within 6.0m of the access point (measured from the site boundary into the site)
  - (iii) any termination of or change in priority of movement within the main car park aisle is located far enough into the site so that the largest vehicle expected on-site can store fully within the site before being required to stop
  - (iv) all parking or manoeuvring areas for commercial vehicles are located a minimum of 12m or the length of the longest vehicle expected on site from the access (measured from the site boundary into the site) as shown in the following diagram:



Access - (Location Spacing) - Existing Access Point

### PO 3.1

Existing access points are designed to accommodate the type and volume of traffic likely to be generated by the development.

### DTS/DPF 3.1

An existing access point satisfies (a), (b) or (c):

- (a) it will not service, or is not intended to service, more than 6 dwellings
- (b) it is not located on a Controlled Access Road and will not service development that will result in a larger class of vehicle expected to access the site using the existing access
- (c) is not located on a Controlled Access Road and development constitutes:
  - (i) a change of use between an office <500m<sup>2</sup> gross leasable floor area and a consulting room <500m<sup>2</sup> gross leasable floor area or vice versa

- (ii) a change in use from a shop to an office, consulting room or personal or domestic services establishment
- (iii) a change of use from a consulting room or office <250m<sup>2</sup> gross leasable floor area to shop <250m<sup>2</sup> gross leasable floor area
- (iv) a change of use from a shop <500m<sup>2</sup> gross leasable floor area to a warehouse <500m<sup>2</sup> gross leasable floor area
- (v) an office or consulting room with a <500m<sup>2</sup> gross leasable floor area
- (vi) a change of use from a residential dwelling to a shop, office, consulting room or personal or domestic services establishment with <250m<sup>2</sup> gross leasable floor area.

Access – Location (Spacing) – New Access Points

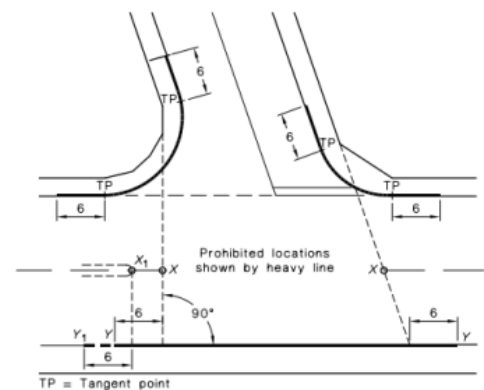
**PO 4.1**

New access points are spaced apart from any existing access point or public road junction to manage impediments to traffic flow and maintain safe and efficient operating conditions on the road.

**DTS/DPF 4.1**

A new access point satisfies (a), (b) or (c):

- (a) where a development site is intended to serve between 1 and 6 dwellings, access to the site is from the local road network (not being a Controlled Access Road) and is located outside of the bold lines shown in the following diagram:

**NOTE:**

The points marked  $X_1$  and  $X'$  are respectively at the median end on a divided road and at the intersection of the main road centre-line and the extensions of the side road property lines shown as dotted lines, on an undivided road. On a divided road, dimension  $Y-Y'$  extends to Point  $Y_1$ .

- (b) where the development site is intended to serve between 1 and 6 dwellings, the new access:
- (i) is not located on a Controlled Access Road
  - (ii) is not located on a section of road affected by double barrier lines
  - (iii) will be on a road with a speed environment of 70km/h or less
  - (iv) is located outside of the bold lines on the diagram shown in the diagram following part (a)
  - (v) is located a minimum of 6m from a median opening or pedestrian crossing
- (c) where DTS/DPF 4.1 part (a) and (b) do not apply and access from an alternative local road at least 25m from the State Maintained Road is not available, and the access is not located on a Controlled Access Road, the new access is separated in accordance with the following:

Speed Limit	Separation between access points	Separation from public road junctions and merging/terminating lanes
50 km/h or less	No spacing requirement	20m
60 km/h	5m (for development intended to serve between 1 and 6 dwellings) and 10m for all other cases	73m
70 km/h	40m	92m
80 km/h	50m	114m
90 km/h	65m	139m
100 km/h	80m	165m
110 km/h	100m	193m

Access - Location (Sight Lines)

**PO 5.1**

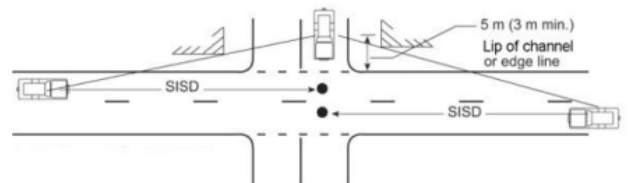
Access points are located and designed to accommodate sight lines that enable drivers and pedestrians to navigate potential conflict points with roads in a controlled and safe manner.

**DTS/DPF 5.1**

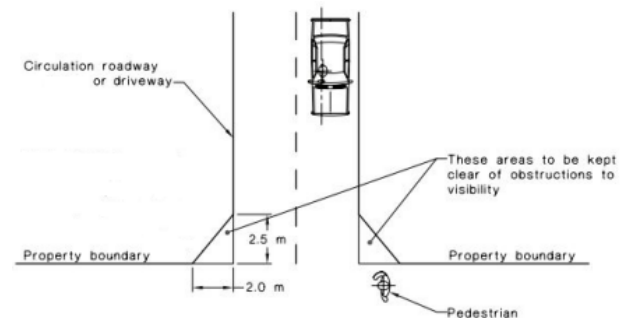
An access point satisfies (a) and (c) or (b) and (c):

- (a) the development site does or is intended to serve between 1 and 6 dwellings and utilises an existing access point or
- (b) drivers approaching or exiting an access point have an unobstructed line of sight in accordance with the following (measured at a height of 1.1m above the surface of the road):

Speed Limit	Access point serving 1-6 dwellings	Access point serving all other development
40 km/h or less	47m	73m
50 km/h	63m	97m
60 km/h	81m	123m
70 km/h	100m	151m
80 km/h	121m	181m
90 km/h	144m	226m
100 km/h	169m	262m
110km/h	195m	300m



- and
- (c) pedestrian sightlines in accordance with the following diagram:



Access - Mud and Debris

**PO 6.1**

Access points constructed to minimise mud or other debris being carried or transferred onto the road to ensure safe road operating conditions.

**DTS/DPF 6.1**

Where the road has an unsealed shoulder and the road is not kerbed, the access way is sealed from the edge of seal on the road for a minimum of 10m or to the property boundary (whichever is closer).

Access - Stormwater

**PO 7.1**

Access points are designed to minimise negative impact on roadside drainage of water.

**DTS/DPF 7.1**

Development does not:

- (a) decrease the capacity of an existing drainage point
- (b) restrict or prevent the flow of stormwater through an existing drainage point and system
- (c) result in access points becoming stormwater flow paths directly onto the road.

Building on Road Reserve	
<b>PO 8.1</b>  Buildings or structures that encroach onto, above or below road reserves are designed and sited to minimise impact on safe movements by all road users.	<b>DTS/DPF 8.1</b>  Buildings or structures are not located on, above or below the road reserve.
Public Road Junctions	
<b>PO 9.1</b>  New junctions with a public road (including the opening of unmade public road junctions) or modifications to existing road junctions are located and designed to ensure safe operating conditions are maintained on the State Maintained Road.	<b>DTS/DPF 9.1</b>  Development does not comprise any of the following: <ul style="list-style-type: none"> <li>(a) creating a new junction with a public road</li> <li>(b) opening an unmade public road junction</li> <li>(c) modifying an existing public road junction.</li> </ul>
Corner Cut-Offs	
<b>PO 10.1</b>  Development is located and designed to maintain sightlines for drivers turning into and out of public road junctions to contribute to driver safety.	<b>DTS/DPF 10.1</b>  Development does not involve building work, or building work is located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram: <div style="text-align: center;"> </div>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, development (including the division of land) that involves any of the following to/on a State Maintained Road or within 25 metres of an intersection with any such road:</p> <ul style="list-style-type: none"> <li>(a) creation of a new access or junction</li> <li>(b) alterations to an existing access or public road junction (except where deemed to be minor in the opinion of the relevant authority)</li> <li>(c) development that changes the nature of vehicular movements or increase the number or frequency of movements through an existing access (except where deemed to be minor in the opinion of the relevant authority).</li> </ul>	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Urban Tree Canopy Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

#### Desired Outcome

DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.
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### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																												
<p><b>PO 1.1</b></p> <p>Trees are planted or retained to contribute to an urban tree canopy.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Tree planting is provided in accordance with the following:</p> <table><tr><td>Site size per dwelling (m<sup>2</sup>)</td><td>Tree size* and number required per dwelling</td></tr><tr><td>&lt;450</td><td>1 small tree</td></tr><tr><td>450-800</td><td>1 medium tree or 2 small trees</td></tr><tr><td>&gt;800</td><td>1 large tree or 2 medium trees or 4 small trees</td></tr></table> <p>*refer Table 1 Tree Size</p> <table><tr><th colspan="4">Table 1 Tree Size</th></tr><tr><th>Tree size</th><th>Mature height (minimum)</th><th>Mature spread (minimum)</th><th>Soil area around tree within development site (minimum)</th></tr><tr><td>Small</td><td>4 m</td><td>2m</td><td>10m<sup>2</sup> and min. dimension of 1.5m</td></tr><tr><td>Medium</td><td>6 m</td><td>4 m</td><td>30m<sup>2</sup> and min. dimension of 2m</td></tr><tr><td>Large</td><td>12 m</td><td>8m</td><td>60m<sup>2</sup> and min. dimension of 4m</td></tr></table> <p>The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of</p>	Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling	<450	1 small tree	450-800	1 medium tree or 2 small trees	>800	1 large tree or 2 medium trees or 4 small trees	Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)	Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m	Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m	Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m
Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling																												
<450	1 small tree																												
450-800	1 medium tree or 2 small trees																												
>800	1 large tree or 2 medium trees or 4 small trees																												
Table 1 Tree Size																													
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																										
Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m																										
Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m																										
Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m																										

the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts

Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m <sup>2</sup> and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

### Desired Outcome

DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
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## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>PO 1.1</b>  Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	<b>DTS/DPF 1.1</b>  One of the following is satisfied: <ul style="list-style-type: none"> <li>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></li> <li>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</li> </ul>

## Design in Urban Areas

## Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	Development is: <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
<b>PO 6.1</b>  Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	<b>DTS/DPF 6.1</b>  Effluent disposal drainage areas do not: <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Car parking appearance	

<b>PO 7.1</b>  Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as: <ul style="list-style-type: none"> <li>(a) limiting protrusion above finished ground level</li> <li>(b) screening through appropriate planting, fencing and mounding</li> <li>(c) limiting the width of openings and integrating them into the building structure.</li> </ul>	<b>DTS/DPF 7.1</b>  None are applicable.
Earthworks and sloping land	
<b>PO 8.1</b>  Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	<b>DTS/DPF 8.1</b>  Development does not involve any of the following: <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
<b>PO 8.2</b>  Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	<b>DTS/DPF 8.2</b>  Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
<b>PO 8.3</b>  Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): <ul style="list-style-type: none"> <li>(a) do not contribute to the instability of embankments and cuttings</li> <li>(b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>(c) are designed to integrate with the natural topography of the land.</li> </ul>	<b>DTS/DPF 8.3</b>  None are applicable.
<b>PO 8.4</b>  Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	<b>DTS/DPF 8.4</b>  None are applicable.
<b>PO 8.5</b>  Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	<b>DTS/DPF 8.5</b>  None are applicable.
Overlooking / Visual Privacy (low rise buildings)	
<b>PO 10.1</b>  Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	<b>DTS/DPF 10.1</b>  Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
<b>PO 10.2</b>	<b>DTS/DPF 10.2</b>

Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	One of the following is satisfied: <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:             <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
Site Facilities / Waste Storage (excluding low rise residential development)	
<b>PO 11.1</b> Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.	<b>DTS/DPF 11.1</b> None are applicable.
<b>PO 11.2</b> Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	<b>DTS/DPF 11.2</b> None are applicable.
<b>PO 11.3</b> Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	<b>DTS/DPF 11.3</b> None are applicable.
<b>PO 11.4</b> Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	<b>DTS/DPF 11.4</b> None are applicable.
<b>PO 11.5</b> For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	<b>DTS/DPF 11.5</b> None are applicable.
All Development - Medium and High Rise	
External Appearance	
<b>PO 12.1</b> Buildings positively contribute to the character of the local area by responding to local context.	<b>DTS/DPF 12.1</b> None are applicable.
<b>PO 12.2</b> Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	<b>DTS/DPF 12.2</b> None are applicable.
<b>PO 12.3</b> Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	<b>DTS/DPF 12.3</b> None are applicable.
<b>PO 12.4</b> Boundary walls visible from public land include visually	<b>DTS/DPF 12.4</b> None are applicable.

interesting treatments to break up large blank elevations.	
<b>PO 12.5</b>  External materials and finishes are durable and age well to minimise ongoing maintenance requirements.	<b>DTS/DPF 12.5</b>  Buildings utilise a combination of the following external materials and finishes: <ul style="list-style-type: none"> <li>(a) masonry</li> <li>(b) natural stone</li> <li>(c) pre-finished materials that minimise staining, discolouring or deterioration.</li> </ul>
<b>PO 12.6</b>  Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	<b>DTS/DPF 12.6</b>  Building street frontages incorporate: <ul style="list-style-type: none"> <li>(a) active uses such as shops or offices</li> <li>(b) prominent entry areas for multi-storey buildings (where it is a common entry)</li> <li>(c) habitable rooms of dwellings</li> <li>(d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.</li> </ul>
<b>PO 12.7</b>  Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.	<b>DTS/DPF 12.7</b>  Entrances to multi-storey buildings are: <ul style="list-style-type: none"> <li>(a) oriented towards the street</li> <li>(b) clearly visible and easily identifiable from the street and vehicle parking areas</li> <li>(c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses</li> <li>(d) designed to provide shelter, a sense of personal address and transitional space around the entry</li> <li>(e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors</li> <li>(f) designed to avoid the creation of potential areas of entrapment.</li> </ul>
<b>PO 12.8</b>  Building services, plant and mechanical equipment are screened from the public realm.	<b>DTS/DPF 12.8</b>  None are applicable.
Landscaping	
<b>PO 13.1</b>  Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.	<b>DTS/DPF 13.1</b>  Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.
<b>PO 13.2</b>  Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.	<b>DTS/DPF 13.2</b>  Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired. <div> <div>Site area</div> <div>Minimum deep soil</div> <div>Minimum dimension</div> <div>Tree /</div> </div>

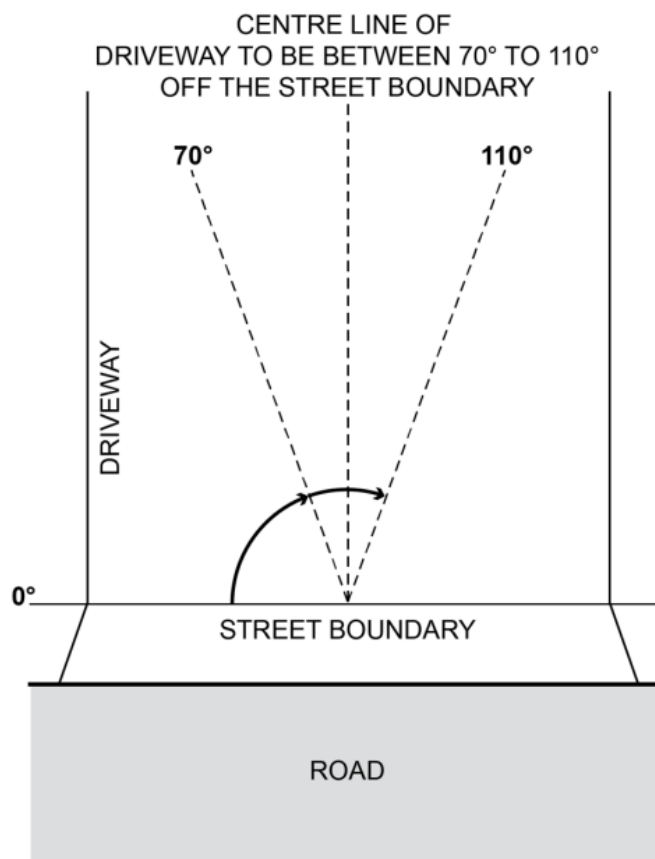
		area		deep soil zones
	<300 m <sup>2</sup>	10 m <sup>2</sup>	1.5m	1 small tree / 10 m <sup>2</sup>
	300-1500 m <sup>2</sup>	7% site area	3m	1 medium tree / 30 m <sup>2</sup>
	>1500 m <sup>2</sup>	7% site area	6m	1 large or medium tree / 60 m <sup>2</sup>
	Tree size and site area definitions			
	Small tree	4-6m mature height and 2-4m canopy spread		
	Medium tree	6-12m mature height and 4-8m canopy spread		
	Large tree	12m mature height and >8m canopy spread		
	Site area	The total area for development site, not average area per dwelling		
<b>PO 13.3</b>  Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	<b>DTS/DPF 13.3</b>  None are applicable.			
<b>PO 13.4</b>  Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	<b>DTS/DPF 13.4</b>  Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.			
Environmental				
<b>PO 14.1</b>  Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	<b>DTS/DPF 14.1</b>  None are applicable.			
<b>PO 14.2</b>  Development incorporates sustainable design techniques and features such as window orientation, eaves and shading	<b>DTS/DPF 14.2</b>  None are applicable.			

structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	
<p><b>PO 14.3</b></p> <p>Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:</p> <ul style="list-style-type: none"> <li>(a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street</li> <li>(b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas</li> <li>(c) the placement of buildings and use of setbacks to deflect the wind at ground level</li> <li>(d) avoiding tall shear elevations that create windy conditions at street level.</li> </ul>	<p><b>DTS/DPF 14.3</b></p> <p>None are applicable.</p>
Overlooking/Visual Privacy	
<p><b>PO 16.1</b></p> <p>Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as:</p> <ul style="list-style-type: none"> <li>(a) appropriate site layout and building orientation</li> <li>(b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight</li> <li>(c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms</li> <li>(d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.</li> </ul>	<p><b>DTS/DPF 16.1</b></p> <p>None are applicable.</p>
All residential development	
Front elevations and passive surveillance	
<p><b>PO 17.1</b></p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p><b>DTS/DPF 17.1</b></p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
<p><b>PO 17.2</b></p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p><b>DTS/DPF 17.2</b></p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
Outlook and Amenity	
<p><b>PO 18.1</b></p> <p>Living rooms have an external outlook to provide a high</p>	<p><b>DTS/DPF 18.1</b></p> <p>A living room of a dwelling incorporates a window with an external outlook of the</p>

standard of amenity for occupants.	street frontage, private open space, public open space, or waterfront areas.
<b>PO 18.2</b>  Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	<b>DTS/DPF 18.2</b>  None are applicable.
Residential Development - Low Rise	
External appearance	
<b>PO 20.1</b>  Garaging is designed to not detract from the streetscape or appearance of a dwelling.	<b>DTS/DPF 20.1</b>  Garages and carports facing a street: <ul style="list-style-type: none"> <li>(a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a garage door / opening width not exceeding 7m</li> <li>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</li> </ul>
<b>PO 20.2</b>  Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.	<b>DTS/DPF 20.2</b>  Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway: <ul style="list-style-type: none"> <li>(a) a minimum of 30% of the building wall is set back an additional 300mm from the building line</li> <li>(b) a porch or portico projects at least 1m from the building wall</li> <li>(c) a balcony projects from the building wall</li> <li>(d) a verandah projects at least 1m from the building wall</li> <li>(e) eaves of a minimum 400mm width extend along the width of the front elevation</li> <li>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</li> <li>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</li> </ul>
<b>PO 20.3</b>  The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	<b>DTS/DPF 20.3</b>  None are applicable
Private Open Space	
<b>PO 21.1</b>  Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	<b>DTS/DPF 21.1</b>  Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.

<b>PO 21.2</b>  Private open space is positioned to provide convenient access from internal living areas.	<b>DTS/DPF 21.2</b>  Private open space is directly accessible from a habitable room.										
Landscaping											
<b>PO 22.1</b>  Soft landscaping is incorporated into development to: <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) contribute shade and shelter</li> <li>(c) provide for stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<b>DTS/DPF 22.1</b>  Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b): <ul style="list-style-type: none"> <li>(a) a total area for the entire development site, including any common property, as determined by the following table:             <table border="1" data-bbox="798 593 1522 1456"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> </li> <li>(b) at least 30% of any land between the primary street boundary and the primary building line.</li> </ul>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
<b>PO 23.1</b>  Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	<b>DTS/DPF 23.1</b>  Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area): <ul style="list-style-type: none"> <li>(a) single width car parking spaces:             <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side):             <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>										

<p><b>PO 23.2</b></p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p><b>DTS/DPF 23.2</b></p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>
<p><b>PO 23.3</b></p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p><b>DTS/DPF 23.3</b></p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul> </li> </ul>
<p><b>PO 23.4</b></p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p><b>DTS/DPF 23.4</b></p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p><b>PO 23.5</b></p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p><b>DTS/DPF 23.5</b></p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</li> </ul>



- (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.

**PO 23.6**

Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

**DTS/DPF 23.6**

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

**PO 24.1**

Provision is made for the convenient storage of waste bins in a location screened from public view.

**DTS/DPF 24.1**

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Design of Transportable Buildings

**PO 25.1**

The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.

**DTS/DPF 25.1**

Buildings satisfy (a) or (b):

- (a) are not transportable

	(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
<b>PO 26.1</b>  Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.	<b>DTS/DPF 26.1</b>  Buildings:  (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.
<b>PO 26.2</b>  The visual privacy of ground level dwellings within multi-level buildings is protected.	<b>DTS/DPF 26.2</b>  The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.
Private Open Space	
<b>PO 27.1</b>  Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	<b>DTS/DPF 27.1</b>  Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
Residential amenity in multi-level buildings	
<b>PO 28.1</b>  Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.	<b>DTS/DPF 28.1</b>  Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.
<b>PO 28.2</b>  Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to:  (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.	<b>DTS/DPF 28.2</b>  Balconies utilise one or a combination of the following design elements:  (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.
<b>PO 28.3</b>  Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.	<b>DTS/DPF 28.3</b>  Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.
<b>PO 28.4</b>  Dwellings are provided with sufficient space for storage to meet likely occupant needs.	<b>DTS/DPF 28.4</b>  Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling:

	<p>(a) studio: not less than 6m<sup>3</sup></p> <p>(b) 1 bedroom dwelling / apartment: not less than 8m<sup>3</sup></p> <p>(c) 2 bedroom dwelling / apartment: not less than 10m<sup>3</sup></p> <p>(d) 3+ bedroom dwelling / apartment: not less than 12m<sup>3</sup>.</p>
<p><b>PO 28.5</b></p> <p>Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.</p>	<p><b>DTS/DPF 28.5</b></p> <p>Light wells:</p> <p>(a) are not used as the primary source of outlook for living rooms</p> <p>(b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms</p> <p>(c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.</p>
<p><b>PO 28.6</b></p> <p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p><b>DTS/DPF 28.6</b></p> <p>None are applicable.</p>
<p><b>PO 28.7</b></p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p><b>DTS/DPF 28.7</b></p> <p>None are applicable.</p>
Dwelling Configuration	
<p><b>PO 29.1</b></p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p><b>DTS/DPF 29.1</b></p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <p>(a) studio (where there is no separate bedroom)</p> <p>(b) 1 bedroom dwelling / apartment with a floor area of at least 50m<sup>2</sup></p> <p>(c) 2 bedroom dwelling / apartment with a floor area of at least 65m<sup>2</sup></p> <p>(d) 3+ bedroom dwelling / apartment with a floor area of at least 80m<sup>2</sup>, and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom.</p>
<p><b>PO 29.2</b></p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p><b>DTS/DPF 29.2</b></p> <p>None are applicable.</p>
Common Areas	
<p><b>PO 30.1</b></p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.</p>	<p><b>DTS/DPF 30.1</b></p> <p>Common corridor or circulation areas:</p> <p>(a) have a minimum ceiling height of 2.7m</p> <p>(b) provide access to no more than 8 dwellings</p> <p>(c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.</p>
Group Dwellings, Residential Flat Buildings and Battle axe Development	

Amenity												
<p><b>PO 31.1</b></p> <p>Dwellings are of a suitable size to provide a high standard of amenity for occupants.</p>	<p><b>DTS/DPF 31.1</b></p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p>											
	<table><tr><th>Number of bedrooms</th><th>Minimum internal floor area</th></tr><tr><td>Studio</td><td>35m<sup>2</sup></td></tr><tr><td>1 bedroom</td><td>50m<sup>2</sup></td></tr><tr><td>2 bedroom</td><td>65m<sup>2</sup></td></tr><tr><td>3+ bedrooms</td><td>80m<sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom</td></tr></table>		Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>	2 bedroom	65m <sup>2</sup>	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
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<p><b>PO 31.2</b></p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p><b>DTS/DPF 31.2</b></p> <p>None are applicable.</p>											
<p><b>PO 31.3</b></p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p><b>DTS/DPF 31.3</b></p> <p>None are applicable.</p>											
<p><b>PO 31.4</b></p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p><b>DTS/DPF 31.4</b></p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>											
Communal Open Space												
<p><b>PO 32.1</b></p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p><b>DTS/DPF 32.1</b></p> <p>None are applicable.</p>											
<p><b>PO 32.2</b></p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p><b>DTS/DPF 32.2</b></p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>											
<p><b>PO 32.3</b></p> <p>Communal open space is designed and sited to:</p> <p>(a) be conveniently accessed by the dwellings which it services</p> <p>(b) have regard to acoustic, safety, security and wind effects.</p>	<p><b>DTS/DPF 32.3</b></p> <p>None are applicable.</p>											

<b>PO 32.4</b>  Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	<b>DTS/DPF 32.4</b>  None are applicable.
<b>PO 32.5</b>  Communal open space is designed and sited to: <ul style="list-style-type: none"> <li>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</li> <li>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</li> </ul>	<b>DTS/DPF 32.5</b>  None are applicable.
Car parking, access and manoeuvrability	
<b>PO 33.1</b>  Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	<b>DTS/DPF 33.1</b>  Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements: <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
<b>PO 33.2</b>  The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	<b>DTS/DPF 33.2</b>  Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
<b>PO 33.3</b>  Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	<b>DTS/DPF 33.3</b>  Driveways that service more than 1 dwelling or a dwelling on a battle-axe site: <ul style="list-style-type: none"> <li>(a) have a minimum width of 3m</li> <li>(b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> <li>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</li> <li>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</li> </ul> </li> </ul>
<b>PO 33.4</b>  Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	<b>DTS/DPF 33.4</b>  Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
<b>PO 33.5</b>  Dwellings are adequately separated from common driveways and manoeuvring areas.	<b>DTS/DPF 33.5</b>  Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
<b>PO 34.1</b>	<b>DTS/DPF 34.1</b>

Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
<p><b>PO 34.2</b></p> <p>Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.</p>	<p><b>DTS/DPF 34.2</b></p> <p>Battle-axe or common driveways satisfy (a) and (b):</p> <p>(a) are constructed of a minimum of 50% permeable or porous material</p> <p>(b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).</p>
Site Facilities / Waste Storage	
<p><b>PO 35.1</b></p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p><b>DTS/DPF 35.1</b></p> <p>None are applicable.</p>
<p><b>PO 35.2</b></p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p><b>DTS/DPF 35.2</b></p> <p>None are applicable.</p>
<p><b>PO 35.3</b></p> <p>Provision is made for suitable household waste and recyclable material storage facilities which are:</p> <p>(a) located away, or screened, from public view, and</p> <p>(b) conveniently located in proximity to dwellings and the waste collection point.</p>	<p><b>DTS/DPF 35.3</b></p> <p>None are applicable.</p>
<p><b>PO 35.4</b></p> <p>Waste and recyclable material storage areas are located away from dwellings.</p>	<p><b>DTS/DPF 35.4</b></p> <p>Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.</p>
<p><b>PO 35.5</b></p> <p>Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.</p>	<p><b>DTS/DPF 35.5</b></p> <p>None are applicable.</p>
<p><b>PO 35.6</b></p> <p>Services including gas and water meters are conveniently located and screened from public view.</p>	<p><b>DTS/DPF 35.6</b></p> <p>None are applicable.</p>
Water sensitive urban design	
<p><b>PO 36.1</b></p> <p>Residential development creating a common driveway /</p>	<p><b>DTS/DPF 36.1</b></p> <p>None are applicable.</p>

access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	
<b>PO 36.2</b>  Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	<b>DTS/DPF 36.2</b>  None are applicable.
Laneway Development	
Infrastructure and Access	
<b>PO 44.1</b>  Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where: <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	<b>DTS/DPF 44.1</b>  Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: <b>(a)</b> Site area <301m <sup>2</sup> : 24m <sup>2</sup> located behind the building line. <b>(b)</b> Site area ≥ 301m <sup>2</sup> : 60m <sup>2</sup> located behind the building line.  Minimum directly accessible from a living room: 16m <sup>2</sup> / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m

	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
<b>PO 11.2</b>  Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	<b>DTS/DPF 11.2</b>  A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is: <ul style="list-style-type: none"> <li>(a) exclusively for domestic use</li> <li>(b) connected to the roof drainage system of the dwelling.</li> </ul>
Wastewater Services	
<b>PO 12.1</b>  Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following: <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> <li>(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.</li> </ul>	<b>DTS/DPF 12.1</b>  Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following: <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>

<b>PO 12.2</b>  Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	<b>DTS/DPF 12.2</b>  Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.
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## Interface between Land Uses

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<b>PO 3.1</b>  Overshadowing of habitable room windows of adjacent residential land uses in:  a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	<b>DTS/DPF 3.1</b>  North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.
<b>PO 3.2</b>  Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:  a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	<b>DTS/DPF 3.2</b>  Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:  a. for ground level private open space, the smaller of the following: i. half the existing ground level open space or ii. 35m <sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m) b. for ground level communal open space, at least half of the existing ground level open space.
<b>PO 3.3</b>  Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:  (a) the form of development contemplated in the zone (b) the orientation of the solar energy facilities (c) the extent to which the solar energy facilities are already overshadowed.	<b>DTS/DPF 3.3</b>  None are applicable.

## Site Contamination

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p><b>PO 1.1</b></p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> <li>or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</li> <li>or</li> <li>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</li> </ul> </li> <li>and</li> <li>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</li> </ul> </li> </ul>

## Transport, Access and Parking

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

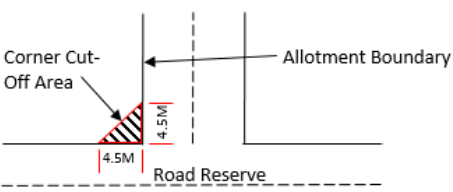
Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Access	
<p><b>PO 3.1</b></p> <p>Safe and convenient access minimises impact or interruption on the operation of public roads.</p>	<p><b>DTS/DPF 3.1</b></p> <p>The access is:</p> <ul style="list-style-type: none"> <li>(a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or</li> <li>(b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.</li> </ul>
<p><b>PO 3.5</b></p> <p>Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.</p>	<p><b>DTS/DPF 3.5</b></p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
Vehicle Parking Rates	
<p><b>PO 5.1</b></p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p><b>DTS/DPF 5.1</b></p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</li> <li>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
Corner Cut-Offs	
<p><b>PO 10.1</b></p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p><b>DTS/DPF 10.1</b></p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	<p><b>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</b></p>
Residential Development	
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>

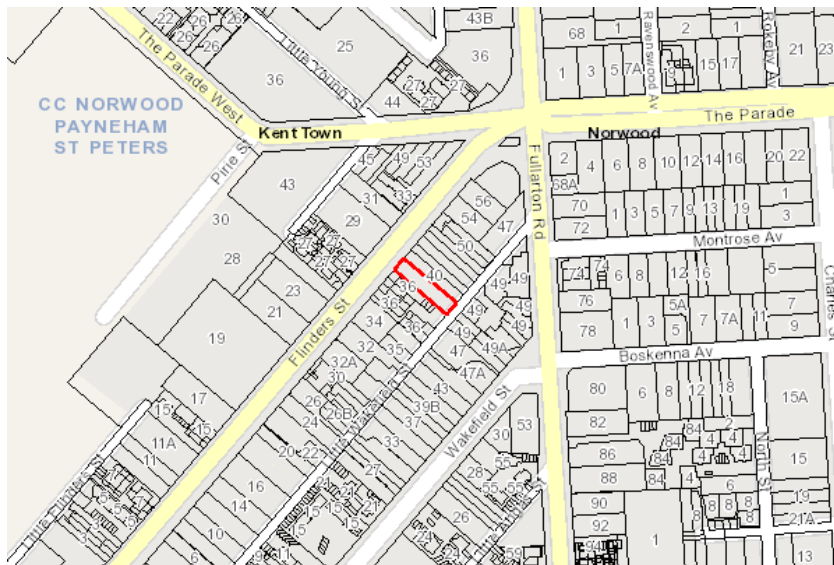
Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
Residential development	<p><b>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</b></p>		
Residential component of a multi-storey building	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor parking.</p>	None specified.	<p>City Living Zone</p> <p>Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p>

			Urban Corridor (Main Street) Zone  Urban Neighbourhood Zone (except for Bowden)
Residential component of a multi-storey building	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Residential flat building	Dwelling with no separate bedroom -0.25 spaces per dwelling  1 bedroom dwelling - 0.75 spaces per dwelling  2 bedroom dwelling - 1 space per dwelling  3 or more bedroom dwelling - 1.25 spaces per dwelling  0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone  Urban Activity Centre Zone when the site is also in a high frequency public transit area  Urban Corridor (Boulevard) Zone  Urban Corridor (Business) Zone  Urban Corridor (Living) Zone  Urban Corridor (Main Street) Zone  Urban Neighbourhood Zone (except for Bowden)
Residential flat building	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Row dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Semi-detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden

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### Property Zoning Details

#### Zone

Established Neighbourhood

#### Overlay

Airport Building Heights (Regulated) (*All structures over 110 metres*)  
 Future Road Widening  
 Historic Area (NPSP7)  
 Hazards (Flooding - General)  
 Prescribed Wells Area  
 Regulated and Significant Tree  
 Stormwater Management  
 Traffic Generating Development  
 Urban Transport Routes  
 Urban Tree Canopy

#### Local Variation (TNV)

Minimum Site Area (*Minimum site area is 200 sqm*)  
 Maximum Building Height (Levels) (*Maximum building height is 2 levels*)

Fence - Code Assessed - Performance Assessed

## Part 2 - Zones and Sub Zones

### Established Neighbourhood Zone

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

### Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies</li> <li>or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) residential flat building.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of</li> </ul> </li> </ul>

	<p>greater length on the adjoining allotment) or</p> <p>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</p>
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or</li> <li>2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) recreation area</li> <li>(k) replacement building</li> <li>(l) retaining wall</li> <li>(m) shade sail</li> <li>(n) solar photovoltaic panels (roof mounted)</li> <li>(o) swimming pool or spa pool and associated swimming pool safety features</li> <li>(p) temporary accommodation in an area affected by bushfire</li> <li>(q) tree damaging activity</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	<p>None specified.</p>

6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay: <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> <li>(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.</li> </ul>	Except where not undertaken by the Crown, a Council or an essential infrastructure provider.
7. Demolition.	Except any of the following: <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
8. Railway line.	Except where located outside of a rail corridor or rail reserve.

#### Placement of Notices - Exemptions for Performance Assessed Development

None specified.

#### Placement of Notices - Exemptions for Restricted Development

None specified.

## Part 3 - Overlays

### Airport Building Heights (Regulated) Overlay

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1	DTS/DPF 1.1

Building height does not pose a hazard to the operation of a certified or registered aerodrome.	Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.  In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.
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## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development:  (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i>  (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Future Road Widening Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development which is consistent with and will not compromise efficient delivery of future road widening requirements.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Future Road Widening	
PO 1.1  Development does not compromise or is located and designed to minimise its impact on future road widening requirements.	DTS/DPF 1.1  Development does not involve building work, or building work is located wholly outside the land subject to the 6m Consent Area, the C Type Requirement or the Strip Requirement of the Metropolitan Adelaide Road Widening Plan.

**Procedural Matters (PM)**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Other than where all deemed-to-satisfy criteria for all policies relevant to this referral are met, development (including the division of land) that is within or may encroach within a Future Road Widening Area.	Commissioner of Highways.	To provide expert technical assessment and direction to the relevant authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 4 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

**Historic Area Overlay****Assessment Provisions (AP)**

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1 None are applicable.
Ancillary development	
PO 4.4 Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the associated building.	DTS/DPF 4.4 None are applicable.

## Historic Area Statements

Statement#	Statement	
Historic Areas affecting City of Norwood, Payneham and St Peters		
NPSP7	<b>Kent Town 1 Historic Area Statement (NPSP7)</b>	
	The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.	
	These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.	
	The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.	
	Eras, themes and context	Pre 1890 (Victorian) and 1890-1915 (turn-of-the-century), 1915-1940 (bungalows). Range of dwelling types.
	Allotments, subdivision and built form patterns	Original historic pattern with large scale villas. Smaller scale row houses and courtyard-style housing on Little Angas and Little Wakefield Street frontages.
	Architectural styles, detailing and built form features	Large-scale Victorian and turn-of-the-century villas set well back from the street frontage in mature garden settings together with other historic buildings including cottages and bungalows.
	Building height	Up to two storeys.
	Materials	Stone, brick, natural coloured bagged render and/or brick as the main external finish to walls.
	Fencing	Generally low, reflecting the traditional period, style and form of the associated building.
Setting, landscaping, streetscape and public realm features	[Not stated]	
Representative Buildings	[Not identified]	

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

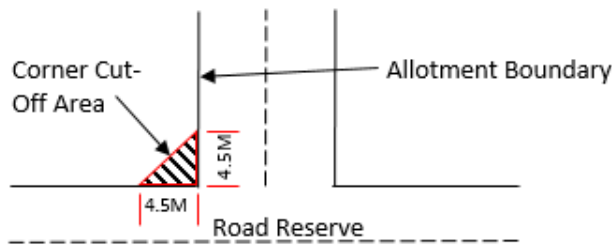
## Urban Transport Routes Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from Urban Transport Routes.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to maintain sightlines for drivers turning into and out of public road junctions to contribute to driver safety.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram:</p> 

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, development (including the division of land) that involves any of the following to/on a State Maintained Road or within 25 metres of an intersection with any such road:</p> <ul style="list-style-type: none"> <li>(a) creation of a new access or junction</li> <li>(b) alterations to an existing access or public road junction (except where deemed to be</li> </ul>	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and

minor in the opinion of the relevant authority) (c) development that changes the nature of vehicular movements or increase the number or frequency of movements through an existing access (except where deemed to be minor in the opinion of the relevant authority).			Infrastructure (General) Regulations 2017 applies.
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## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1  Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1  One of the following is satisfied:  (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i>  (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

### Design in Urban Areas

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is:  (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for

	access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors
(d)	sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
PO 9.1  Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1  None are applicable.

## Transport, Access and Parking

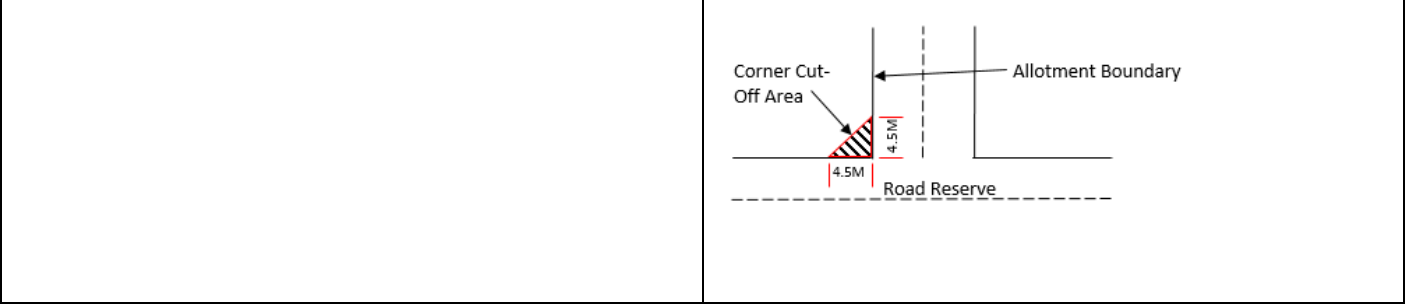
### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Sightlines	
PO 2.2  Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2  None are applicable.
Corner Cut-Offs	
PO 10.1  Development is located and designed to ensure drivers can safely turn into and out of public road junctions.	DTS/DPF 10.1  Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:



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## Property Zoning Details

Zone	Established Neighbourhood
Overlay	Airport Building Heights (Regulated) (All structures over 110 metres) Future Road Widening Historic Area (NPSP7) Hazards (Flooding - General) Prescribed Wells Area Regulated and Significant Tree Stormwater Management Traffic Generating Development Urban Transport Routes Urban Tree Canopy
Local Variation (TNV)	Minimum Site Area (Minimum site area is 200 sqm) Maximum Building Height (Levels) (Maximum building height is 2 levels)

## Demolition - Code Assessed - Performance Assessed

### Part 2 - Zones and Sub Zones

#### Established Neighbourhood Zone

##### Assessment Provisions (AP)

##### Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is

required.

## Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) residential flat building.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:               <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
4. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or</li> <li>2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:               <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>

<p>5. Any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) recreation area</li> <li>(k) replacement building</li> <li>(l) retaining wall</li> <li>(m) shade sail</li> <li>(n) solar photovoltaic panels (roof mounted)</li> <li>(o) swimming pool or spa pool and associated swimming pool safety features</li> <li>(p) temporary accommodation in an area affected by bushfire</li> <li>(q) tree damaging activity</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	None specified.
<p>6. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>7. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
<p><b>Placement of Notices - Exemptions for Performance Assessed Development</b></p> <p>None specified.</p>	
<p><b>Placement of Notices - Exemptions for Restricted Development</b></p> <p>None specified.</p>	

## Part 3 - Overlays

### Historic Area Overlay

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.</p>

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria /
---------------------	------------------------------

Designated Performance Feature	
All Development	
<b>PO 1.1</b>  All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	<b>DTS/DPF 1.1</b>  None are applicable.
Demolition	
<b>PO 7.1</b>  Buildings and structures, or features thereof, that demonstrate the historic characteristics as expressed in the Historic Area Statement are not demolished, unless: <ul style="list-style-type: none"> <li>(a) the front elevation of the building has been substantially altered and cannot be reasonably restored in a manner consistent with the building's original style or</li> <li>(b) the structural integrity or safe condition of the original building is beyond reasonable repair.</li> </ul>	<b>DTS/DPF 7.1</b>  None are applicable.
<b>PO 7.2</b>  Partial demolition of a building where that portion to be demolished does not contribute to the historic character of the streetscape.	<b>DTS/DPF 7.2</b>  None are applicable.
<b>PO 7.3</b>  Buildings or elements of buildings that do not conform with the values described in the Historic Area Statement may be demolished.	<b>DTS/DPF 7.3</b>  None are applicable.
Ruins	
<b>PO 8.1</b>  Development conserves and complements features and ruins associated with former activities of significance.	<b>DTS/DPF 8.1</b>  None are applicable.

## Historic Area Statements

Statement#	Statement		
Historic Areas affecting City of Norwood, Payneham and St Peters			
	<b>Kent Town 1 Historic Area Statement (NPSP7)</b>  The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.  These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.  The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.		
	<table> <tr> <td>Eras, themes and context</td><td>Pre 1890 (Victorian) and 1890-1915 (turn-of-the-century), 1915-</td></tr> </table>	Eras, themes and context	Pre 1890 (Victorian) and 1890-1915 (turn-of-the-century), 1915-
Eras, themes and context	Pre 1890 (Victorian) and 1890-1915 (turn-of-the-century), 1915-		

Statement#	Statement	
NPSP7		1940 (bungalows). Range of dwelling types.
	Allotments, subdivision and built form patterns	Original historic pattern with large scale villas. Smaller scale row houses and courtyard-style housing on Little Angas and Little Wakefield Street frontages.
	Architectural styles, detailing and built form features	Large-scale Victorian and turn-of-the-century villas set well back from the street frontage in mature garden settings together with other historic buildings including cottages and bungalows.
	Building height	Up to two storeys.
	Materials	Stone, brick, natural coloured bagged render and/or brick as the main external finish to walls.
	Fencing	Generally low, reflecting the traditional period, style and form of the associated building.
	Setting, landscaping, streetscape and public realm features	<i>[Not stated]</i>
	Representative Buildings	<i>[Not identified]</i>

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

OUR PROPOSED RESTORATION AND REAR ADDITION TO MY FAMILY HOME.

THIS IS A PLACE OF DEEP PERSONAL SIGNIFICANCE THAT HAS BEEN IN MY FAMILY FOR OVER 60 YEARS.

I WAS BORN IN THIS HOUSE IN THE 1960S AND SPENT MY ENTIRE CHILDHOOD HERE (THAT IS ME MY MUM IS HOLDING IN THE SECOND PICTURE), GROWING UP WITH MY ITALIAN IMMIGRANT PARENTS WHO HAD MADE THIS THEIR FIRST HOME IN AUSTRALIA. LIKE MANY FAMILIES OF THEIR GENERATION, THEY WERE IMMENSELY PROUD TO OWN THEIR OWN HOME AND, IN THEIR OWN WAY, TRIED TO MODERNISE IT OVER TIME. UNFORTUNATELY, IN DOING SO, MANY OF THE HOME'S ORIGINAL FEATURES AND CHARACTER WERE LOST--PARTICULARLY THROUGH CHANGES TO THE FRONT FAÇADE AND INTERNAL ALTERATIONS THAT WERE COMMON DURING THAT ERA.

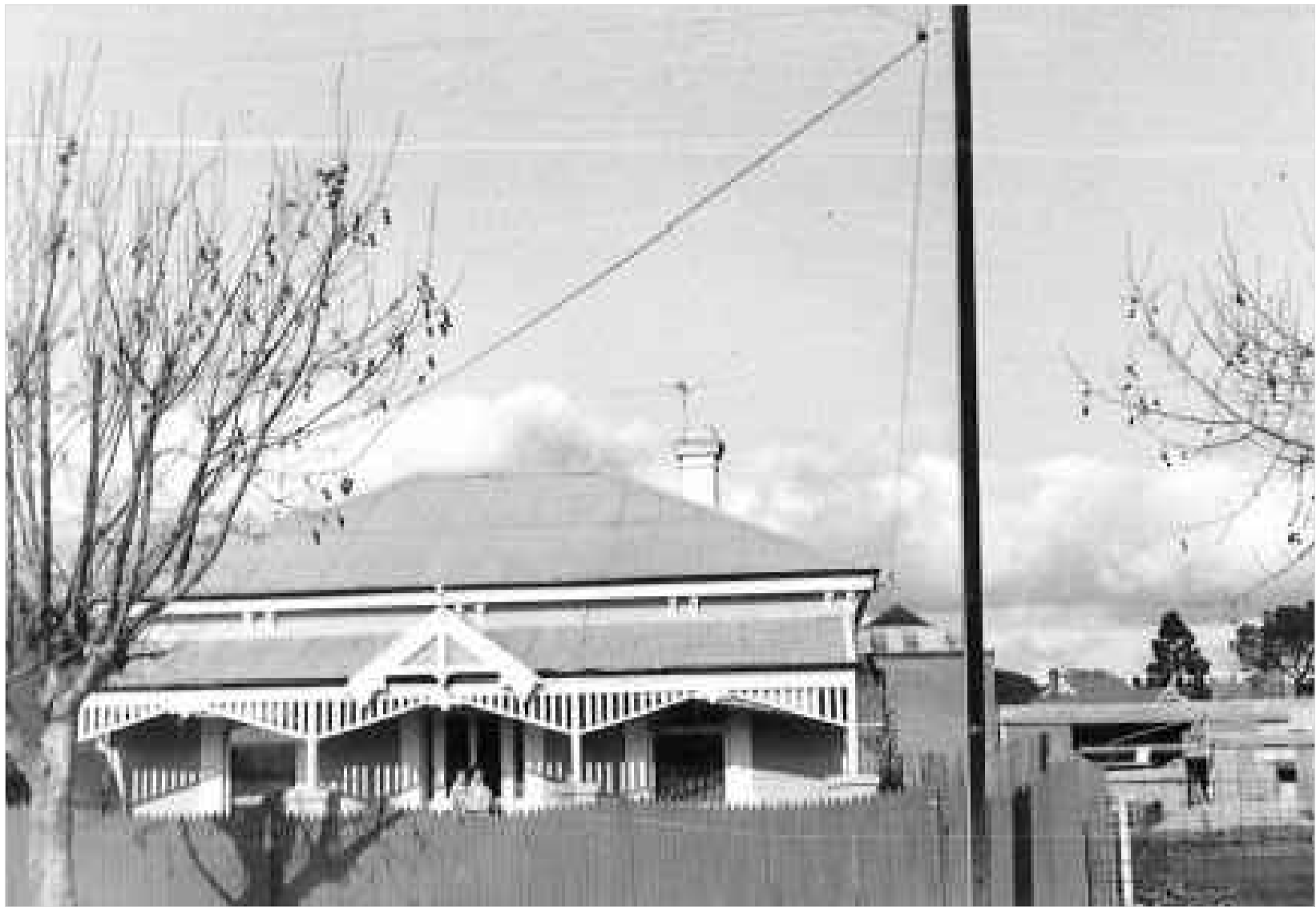
DESPITE THESE CHANGES, THE HOUSE HAS ALWAYS REMAINED AT THE HEART OF OUR FAMILY. OVER THE DECADES, FOUR GENERATIONS HAVE PASSED THROUGH ITS DOORS, EACH LEAVING THEIR OWN MARK. THE MEMORIES WE HOLD HERE ARE COUNTLESS--CELEBRATIONS, MEALS, BIRTHS, AND MILESTONES ALL LIVED OUT WITHIN ITS WALLS. IT IS NOT JUST A HOUSE TO US; IT IS A CORNERSTONE OF OUR FAMILY HISTORY.

NOW, AS THE CURRENT OWNER, I FEEL A STRONG SENSE OF RESPONSIBILITY AND PRIVILEGE TO RESTORE THE HOME WITH THE CARE AND RESPECT IT DESERVES. MY HOPE IS TO BRING BACK SOME OF ITS ORIGINAL CHARM--THE WAY I REMEMBER IT AS A CHILD--WHILE ALSO ADAPTING IT FOR THE FUTURE SO THAT IT CAN CONTINUE TO SUPPORT A MULTIGENERATIONAL HOUSEHOLD, JUST AS IT HAS ALWAYS DONE.

THE PROPOSED REAR ADDITION HAS BEEN CAREFULLY DESIGNED NOT TO DOMINATE THE ORIGINAL COTTAGE, BUT TO SIT QUIETLY BUT PROUDLY BEHIND IT--ALLOWING THE ORIGINAL STRUCTURE TO TAKE PRECEDENCE. THE NEW SECTION WILL PROVIDE FUNCTIONAL LIVING SPACE FOR OUR FAMILY, WHILE THE RESTORED COTTAGE WILL ONCE AGAIN BE ALLOWED TO SHINE, IN KEEPING WITH ITS EARLY 1900S HERITAGE AND ITS CONTRIBUTION TO THE CHARACTER OF THE STREET.

THIS PROJECT IS NOT JUST ABOUT BRICKS AND MORTAR--IT'S ABOUT PRESERVING LEGACY, HONOURING THE PAST, AND CREATING A WARM AND WELCOMING PLACE FOR FUTURE GENERATIONS. I AM COMMITTED TO DOING THIS WITH SENSITIVITY AND RESPECT, AND I HOPE THE COMMUNITY WILL VIEW THIS PROPOSAL AS A MEANINGFUL AND POSITIVE CONTRIBUTION, NOT JUST FOR MY FAMILY, BUT FOR THE BROADER COMMUNITY AND STREET SCAPE.

GABBY CAVUOTO  
PRESENT OWNER



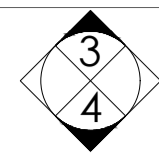
CIRCA 1960



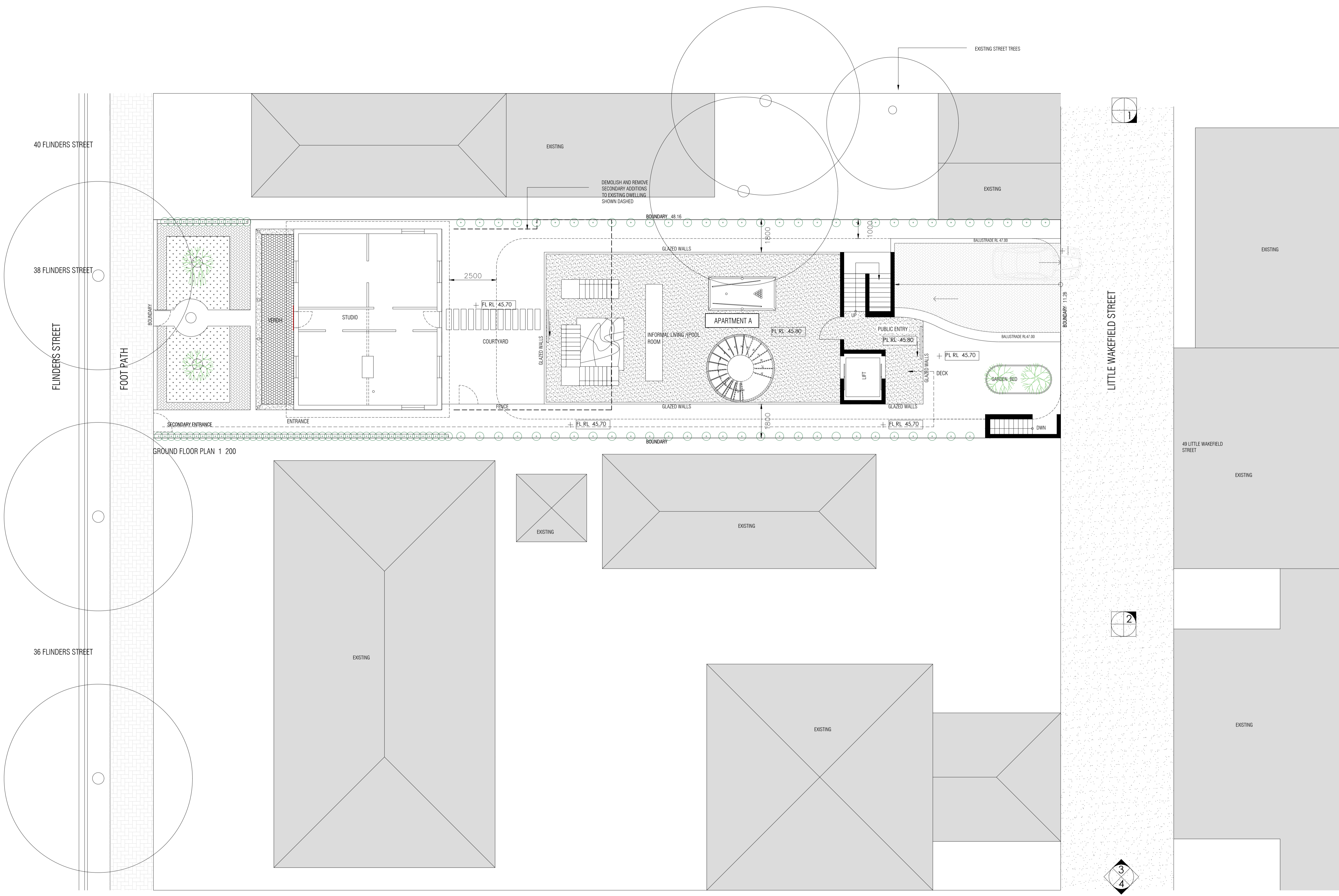
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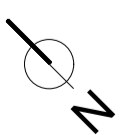
CIRCA 1960



STREET VIEWS ON PAGE  
DD.09.0.A



LOCALITY PLAN 1 100 @ A1



XXXXX

C	05.11.25	REWORK BUILDING PLACEMENT
B	05.09.25	LOWER BUILDING 1000
A	03.09.25	RESTORE COTTAGE REWORK ADDITION

## OPTION 2

DESIGN DRAWINGS

DRAWING NO.  
208.GIA DD.01.0.C

PROJECT  
FLINDERS

38 Flinders Street, NORWOOD, SA 5067

CLIENT  
CAVUOTO

DRAWING TITLE  
SITE PLAN

DETAILS  
Drawn: DPC

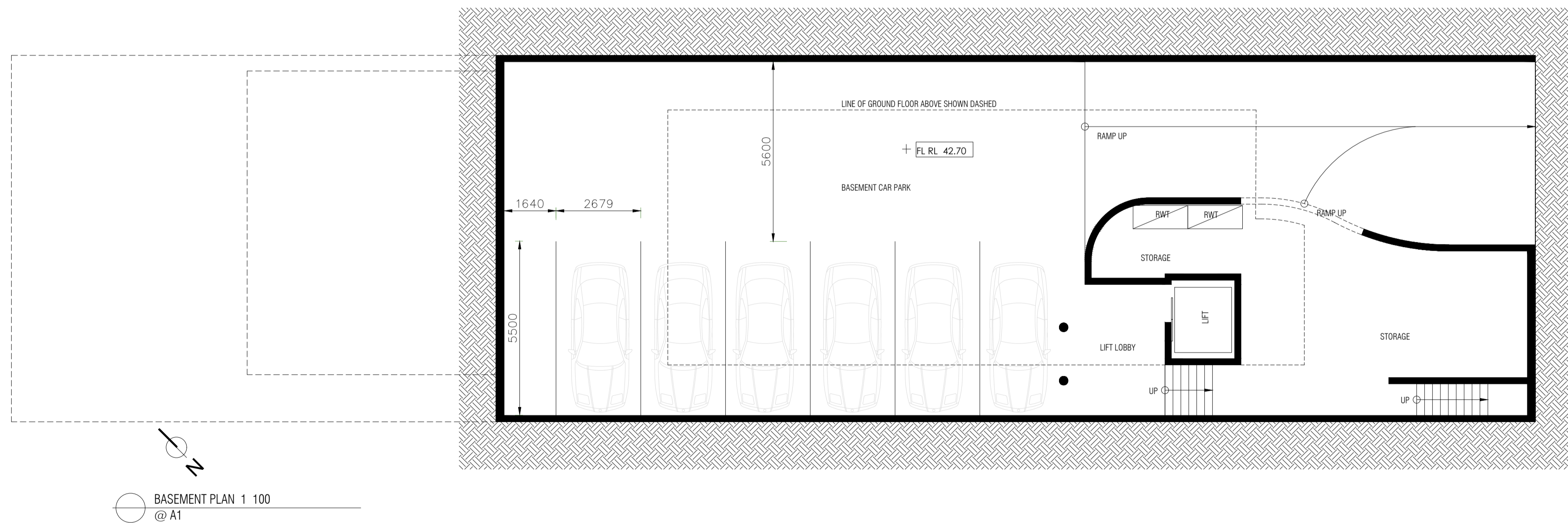
Scale: as shown

Date: JUNE 2025





DC ARCHITECTURE + INTERIOR DESIGN



XXXXVIIII

C	05.11.25	REWORK BUILDING PLACEMENT
B	05.09.25	LOWER BUILDING 1000
A	03.09.25	RESTORE COTTAGE REWORK ADDITON

## DESIGN DRAWINGS

DRAWING NO.  
**208.GIA** **DD.02.0.C**

PROJECT  
**FLINDERS**

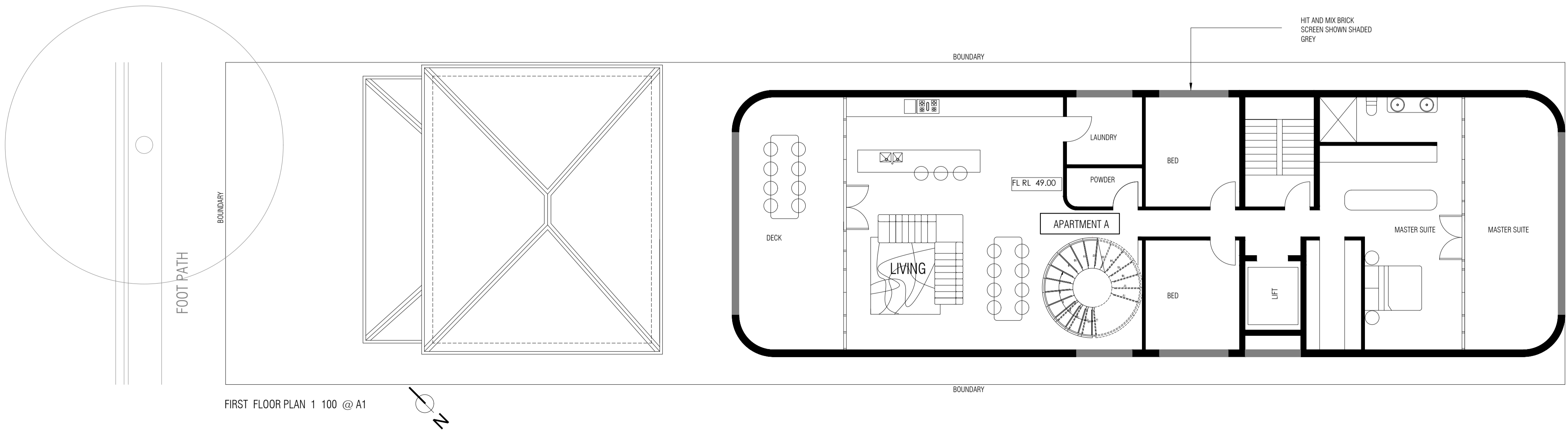
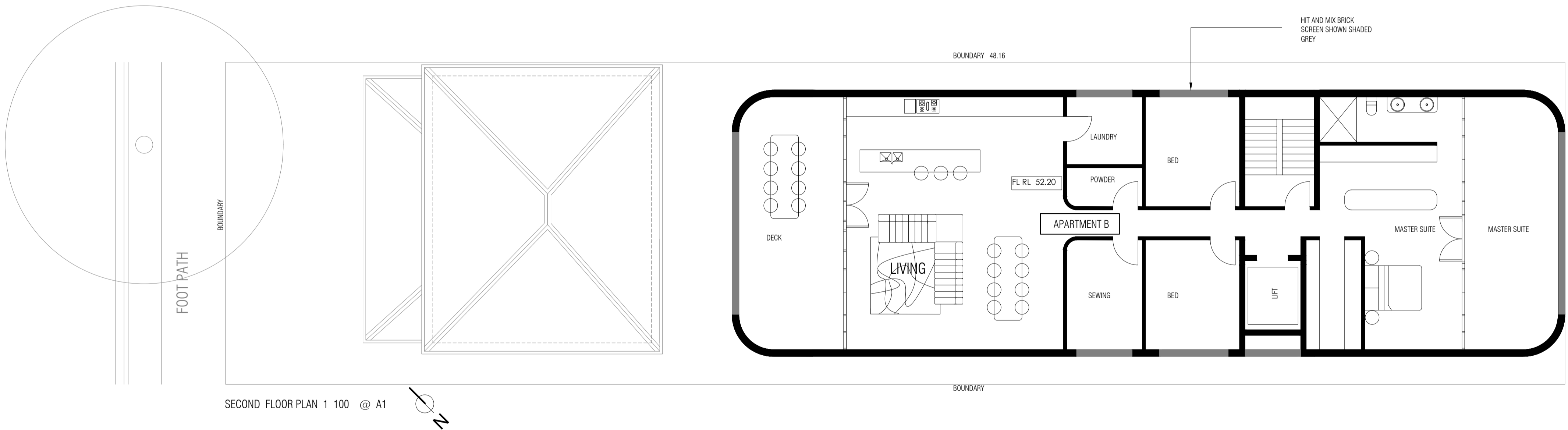
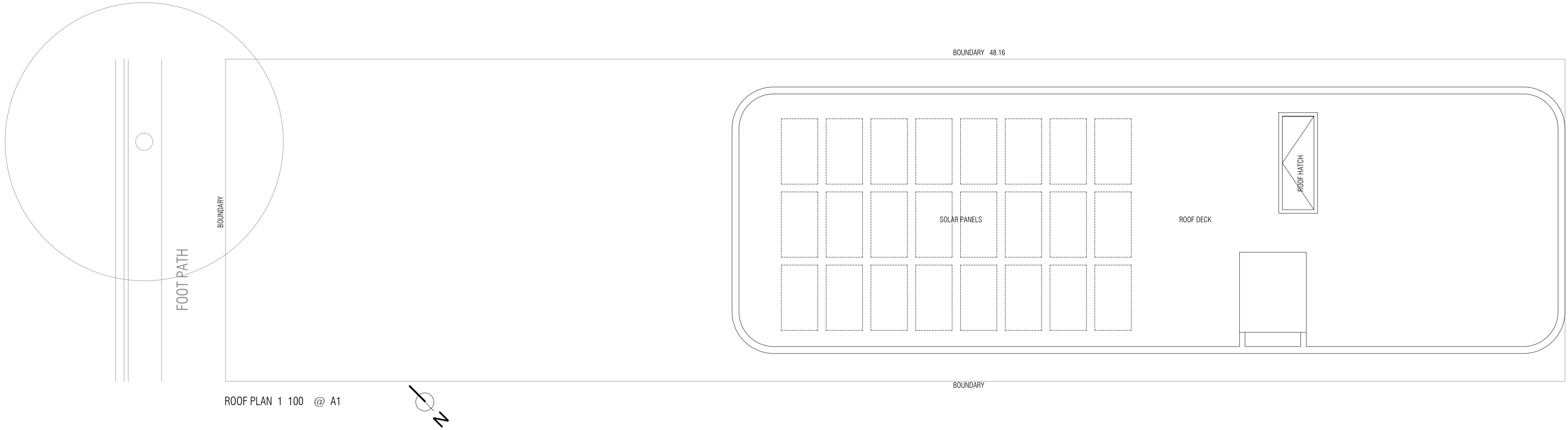
38 Flinders Street, NORWOOD, SA 5067

CLIENT  
CAVUOTO

DRAWING TITLE  
PLAN

DETAILS  
Drawn DRC  
Scale as shown  
Date JUNE 2025



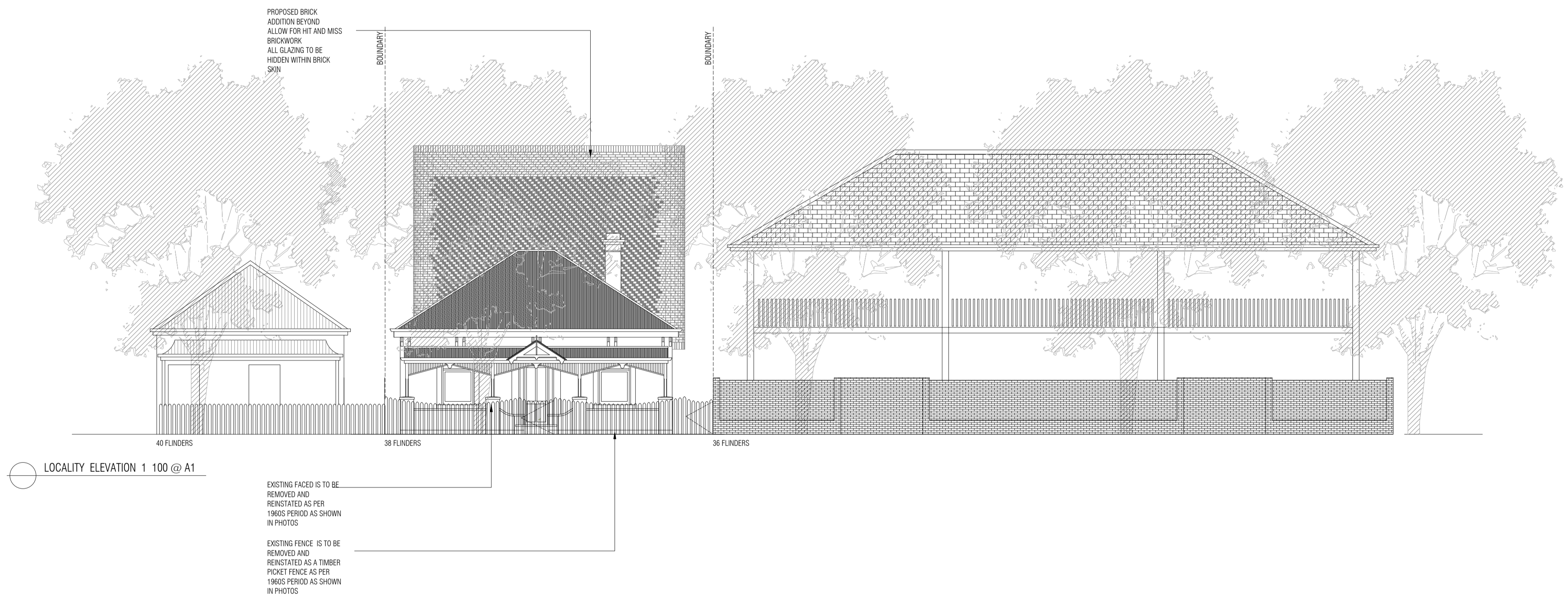
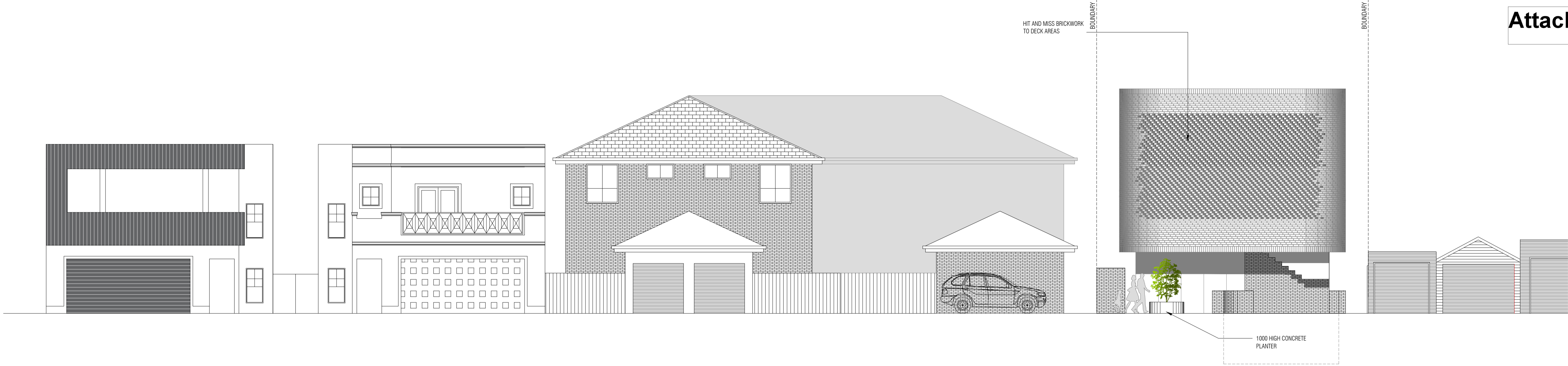


dcarchitecture.com.au

C	05.11.25	REWORK BUILDING PLACEMENT
B	05.09.25	LOWER BUILDING 1000
A	03.09.25	RESTORE COTTAGE REWORK ADDITION

## OPTION 2

DESIGN DRAWINGS	
DRAWING NO.	DD.03.0.C
PROJECT	FLINDERS
CLIENT	CAVUOTO
DRAWING TITLE	PLAN
DETAILS	DRG
Scale	as shown
Date	JUNE 2025



ALL TIMBER FLOORS ARE TO BE REINSTATED INCLUDING HARDWOOD BEARERS

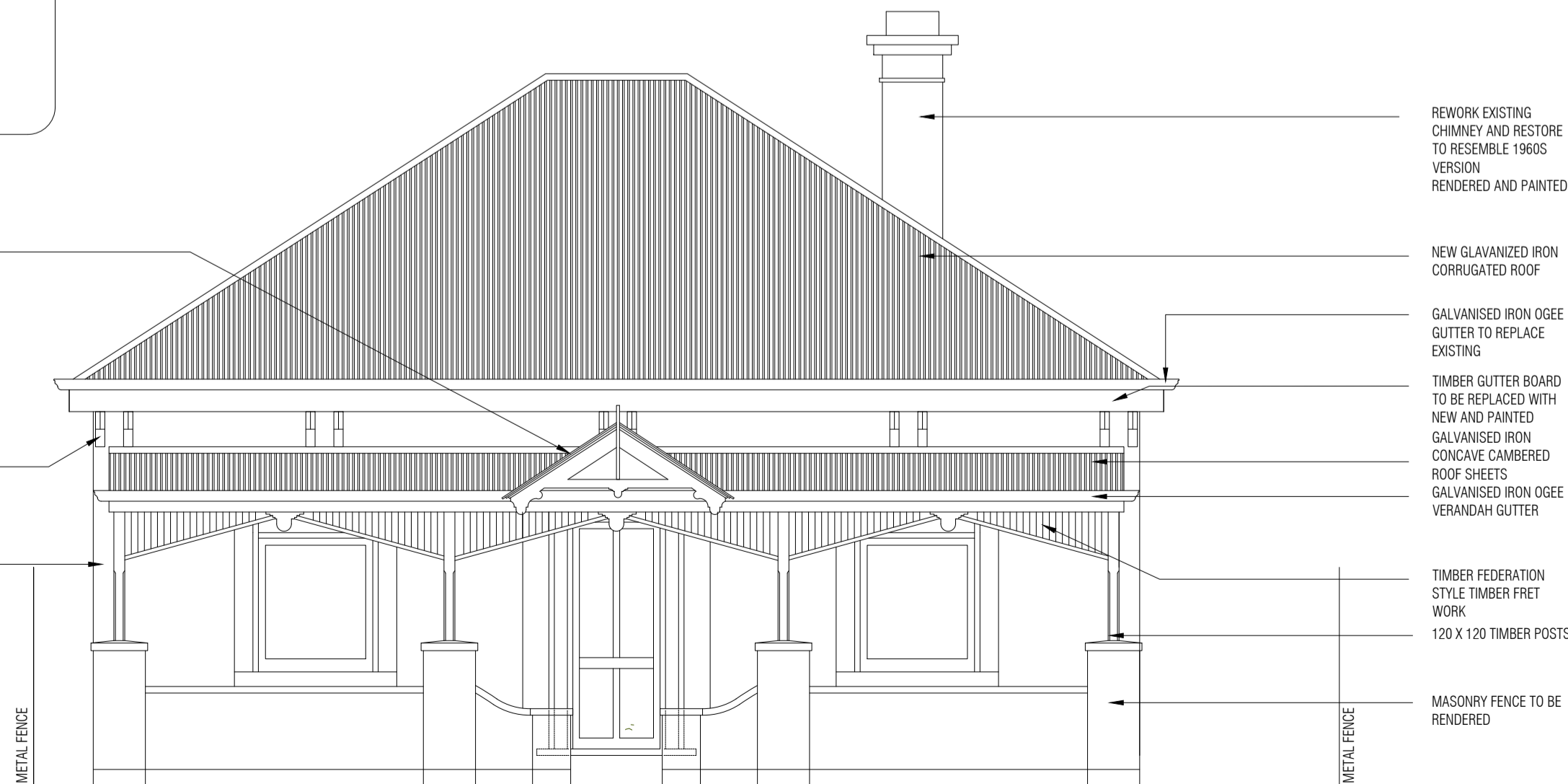
ALL SKIRTINGS AND ARCHITRAVES ARE TO BE REINSTATED TO ORIGINAL

ALL CEILINGS AND EXISTING STYLE CORNICES ARE TO BE REINSTATED

RE INSTALL TIMBER ENTRANCE GABLE MOTIF

FEDERATION STYLE CORBEL TO BE REINSTALLED

REMOVE ALL PRESENT RENDER AND REVEAL PRE EXISTING FACADE REINSTATE QUIONS AND BANDING AROUND DOOR AND WINDOWS



EXISTING HOUSE STREET ELEVATION 1 100 @ A1

REWORK EXISTING CHIMNEY AND RESTORE TO RESEMBLE 1960S VERSION RENDERED AND PAINTED

NEW GALVANIZED IRON CORRUGATED ROOF

GALVANISED IRON OGEE GUTTER TO REPLACE EXISTING

TIMBER GUTTER BOARD TO BE REPLACED WITH NEW AND PAINTED GALVANISED IRON CONCAVE CAMBERED ROOF SHEETS GALVANISED IRON OGEE VERANDAH GUTTER

TIMBER FEDERATION STYLE TIMBER FRET WORK

120 X 120 TIMBER POSTS TO HAVE VERTICES SCALLOPED

MASONRY FENCE TO BE RENDERED

EXISTING HOUSE S/W ELEVATION 1 100 @ A1

REWORK EXISTING CHIMNEY AND RESTORE TO RESEMBLE 1960S VERSION RENDERED AND PAINTED

REMOVE ALL PRESENT RENDER AND REVEAL PRE EXISTING FACADE REINSTATE QUIONS AND BANDING AROUND DOOR AND WINDOWS

XXXXX			
C	05.11.25	LOWER BUILDING 900MM + PICKET FENCE	
B	05.09.25	LOWER BUILDING 1000	
A	03.09.25	RESTORE COTTAGE REWORK ADDITION	

## OPTION 2

### DESIGN DRAWINGS

DRAWING NO. 208.GIA DD.04.0.C

PROJECT FLINDERS

38 Flinders Street, NORWOOD, SA 5067

CLIENT CAVALUOTO

DRAWING TITLE PLAN

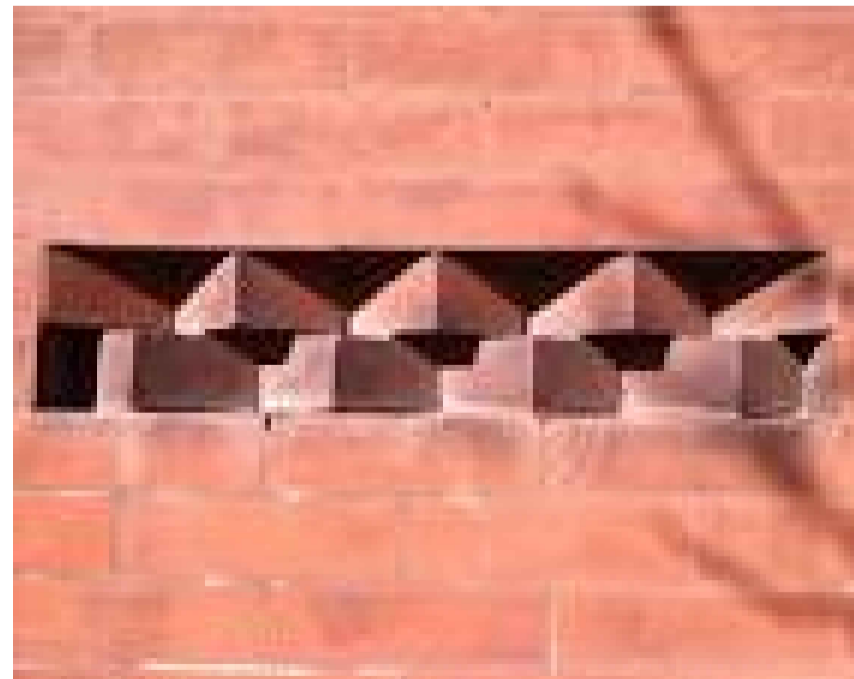
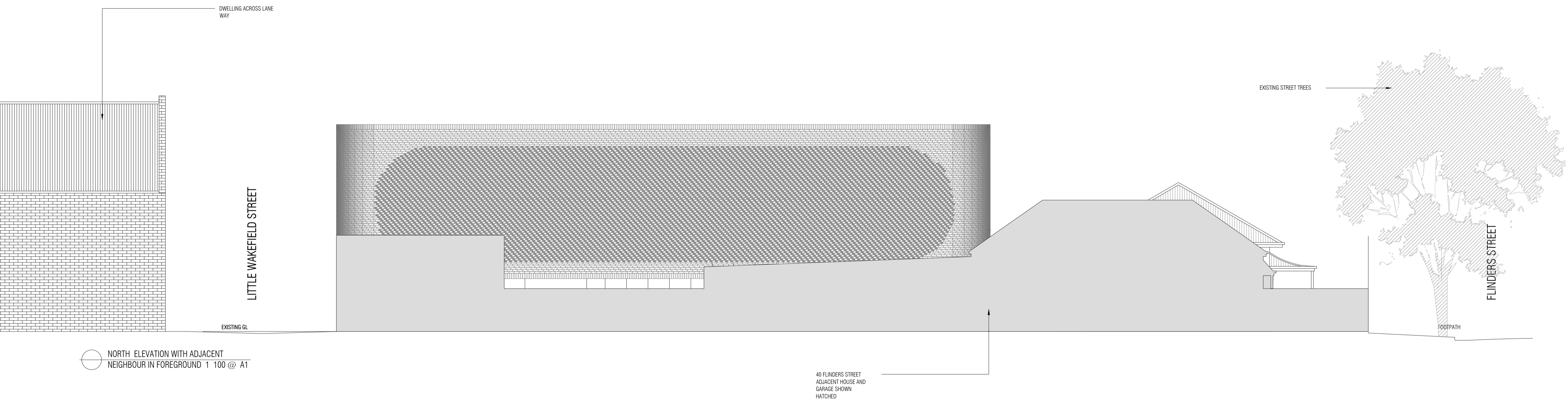
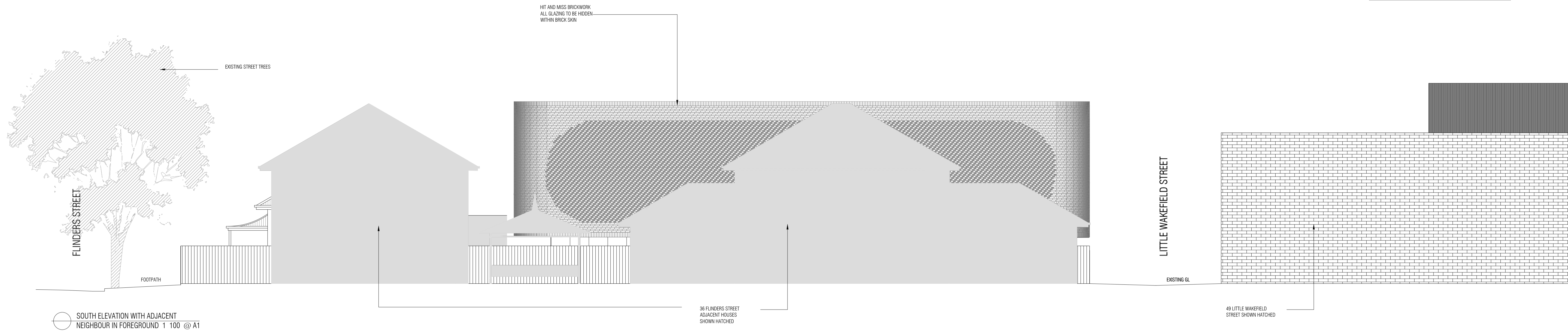
DETAILS

Drawn: DPC

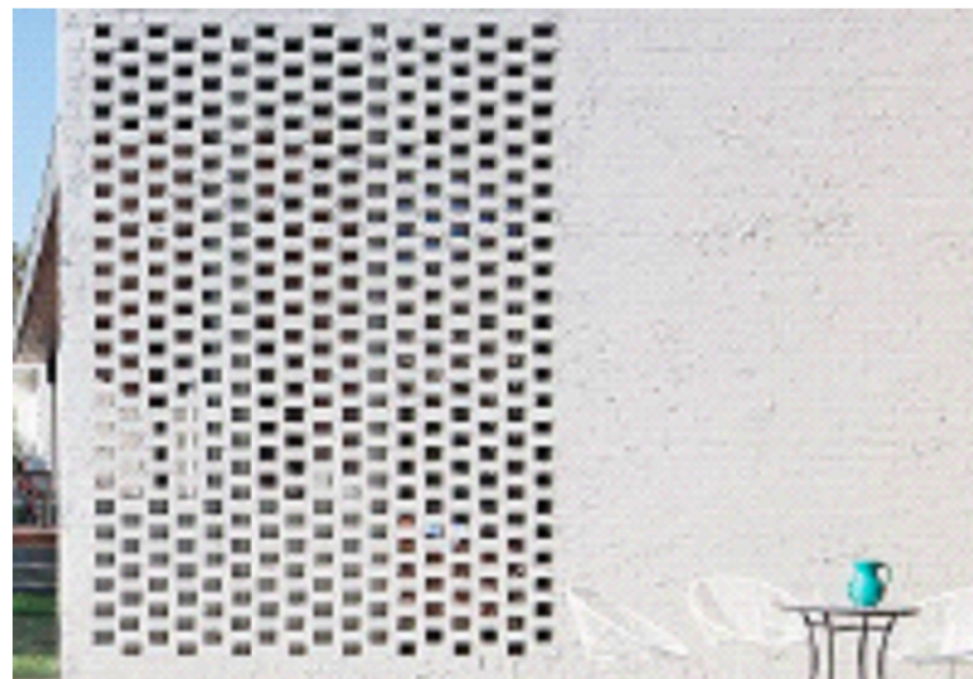
Scale: as shown

Date: JUNE 2025





45 BRICKWORK DETAIL WHERE  
NO WINDOWS ARE REQUIRED  
BRICKS TO BE RECLAIMED REDS



HIT AND MISS BRICKWORK  
ALL GLAZING TO BE HIDDEN  
WITHIN BRICK SKIN

## OPTION 2

## DESIGN DRAWINGS

DRAWING NO.  
208.GIA DD.05.0.C

PROJECT  
FLINDERS

38 Flinders Street, NORWOOD, SA 5067

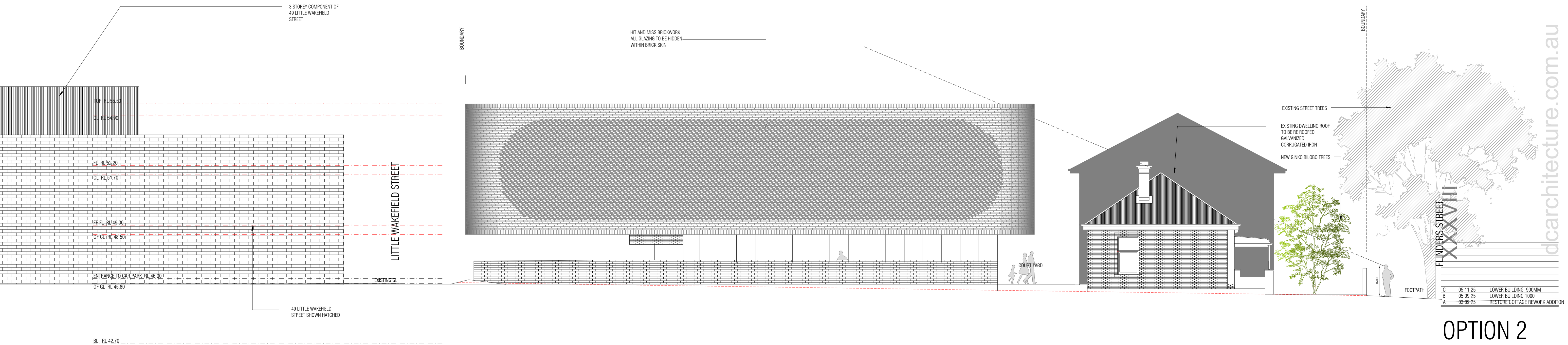
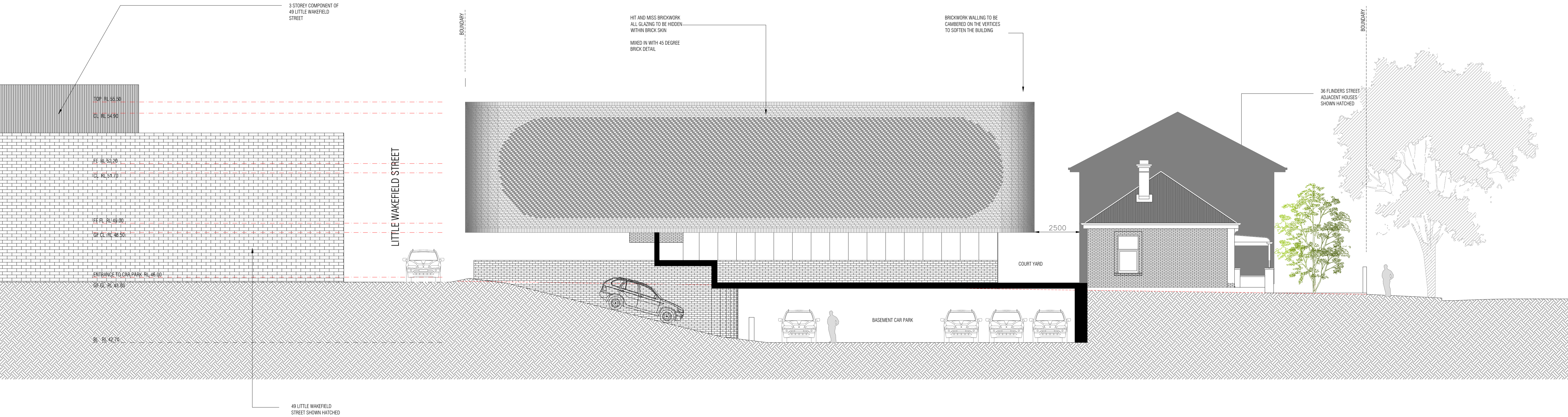
CLIENT  
CAVALOTO

DRAWING TITLE

## PLAN DETAILS

Drawn DAC  
Scale 22.2hr

Date JUNE 2



SECTION AA 1 100 @ A1

## OPTION 2

DESIGN DRAWINGS

DRAWING NO.  
208.GIA DD.06.0.C

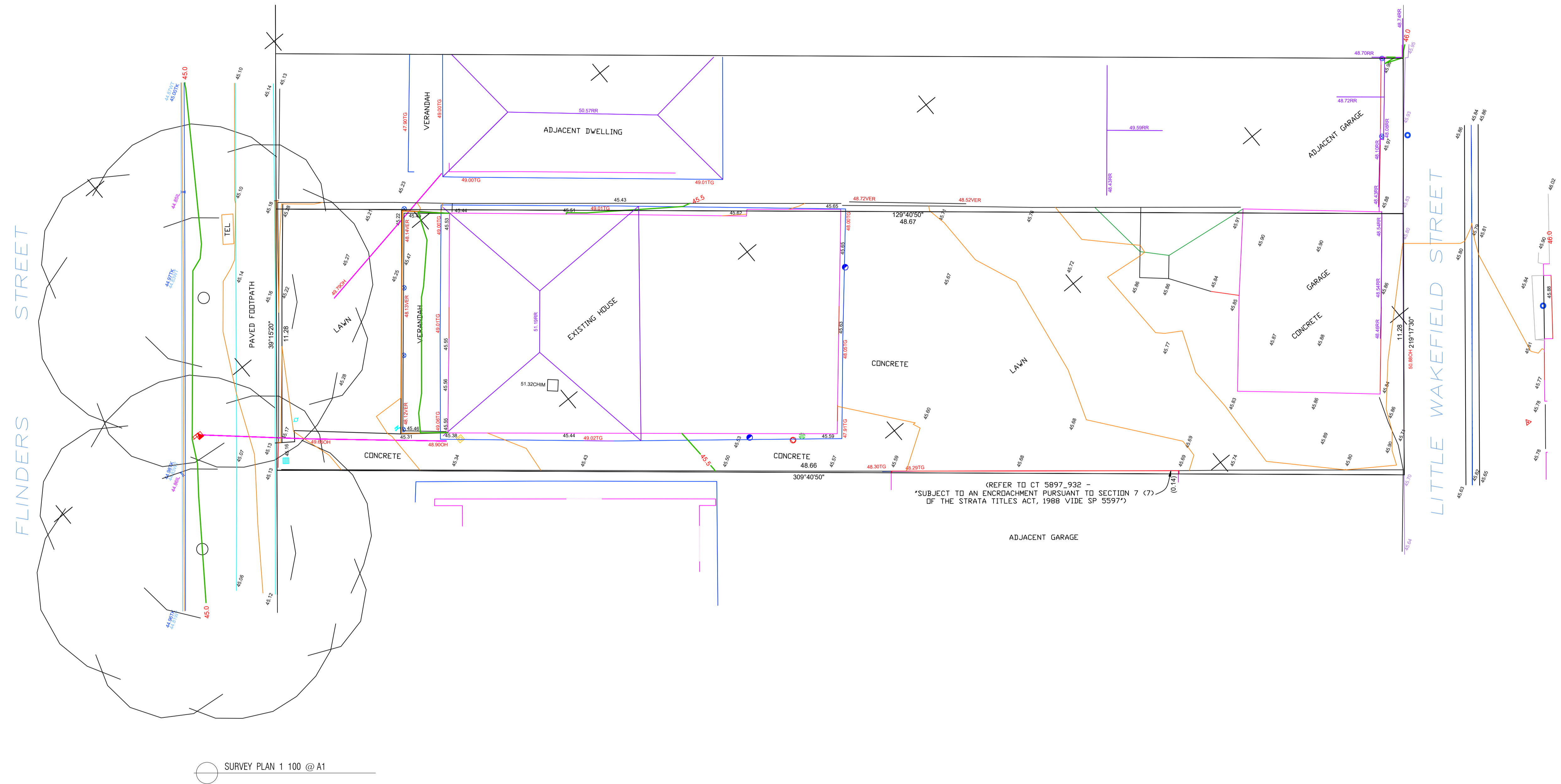
PROJECT  
FLINDERS

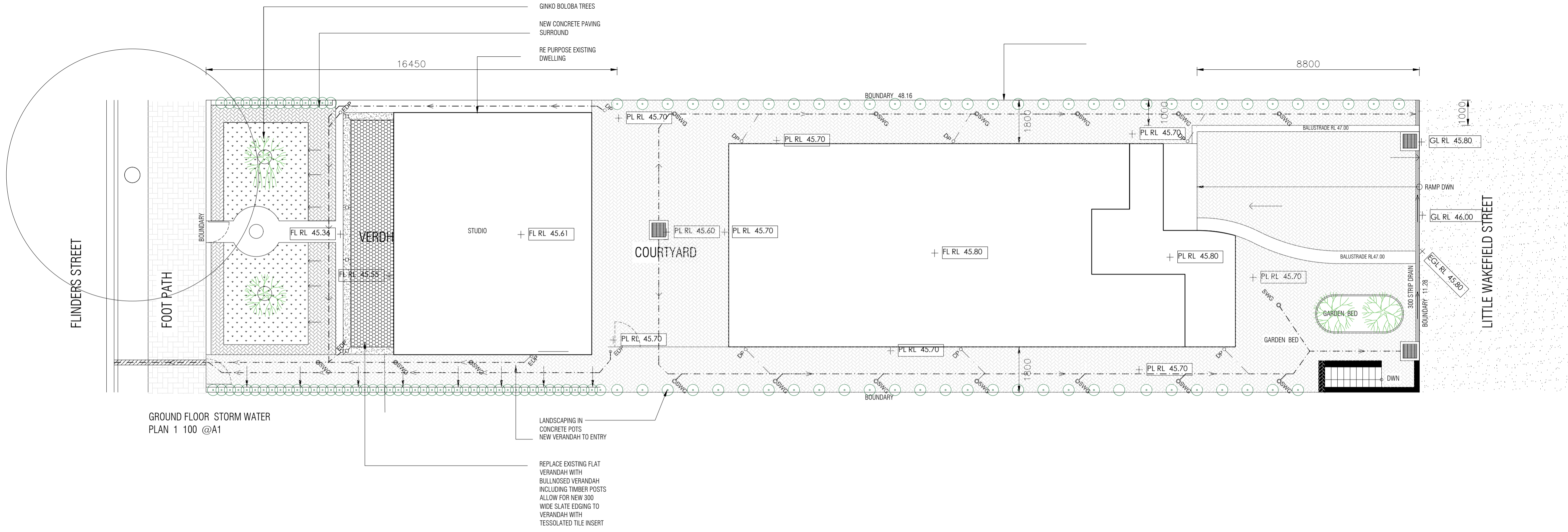
38 Flinders Street, NORWOOD, SA 5067

CLIENT  
CAVUOTO

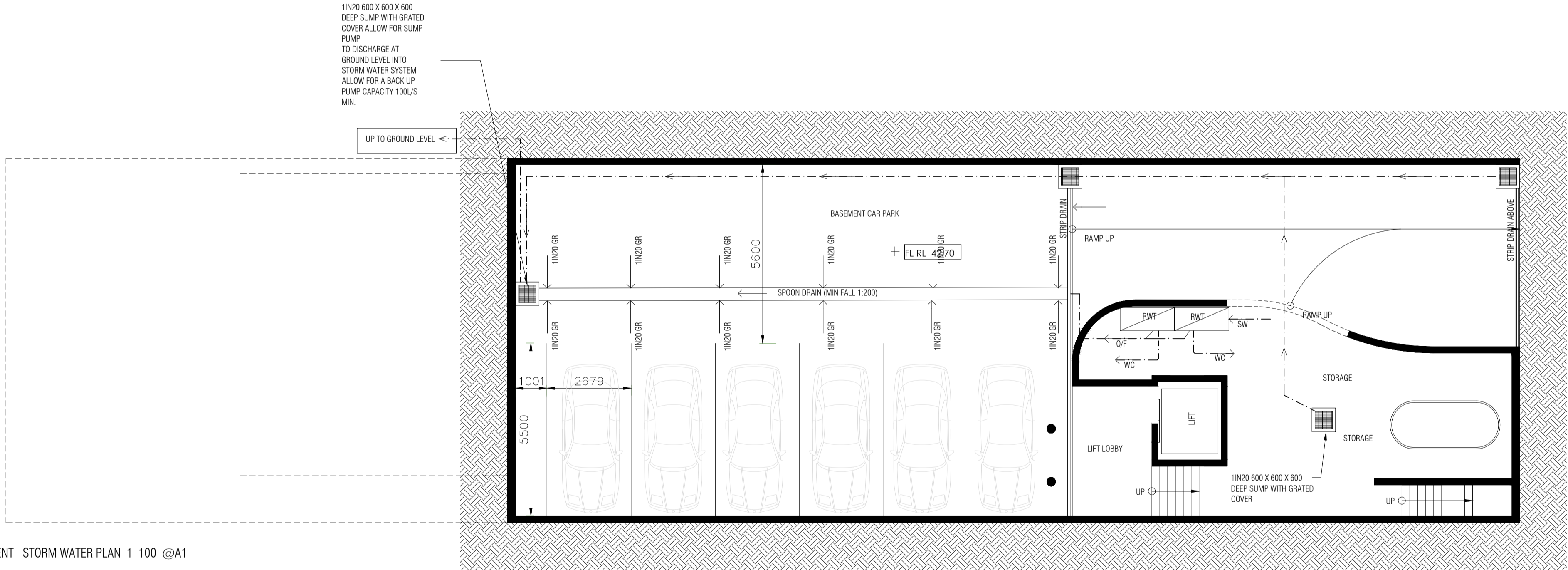
DRAWING TITLE  
PLAN

DETAILS  
Drawn: DPC  
Scale: as shown  
Date: JUNE 2025

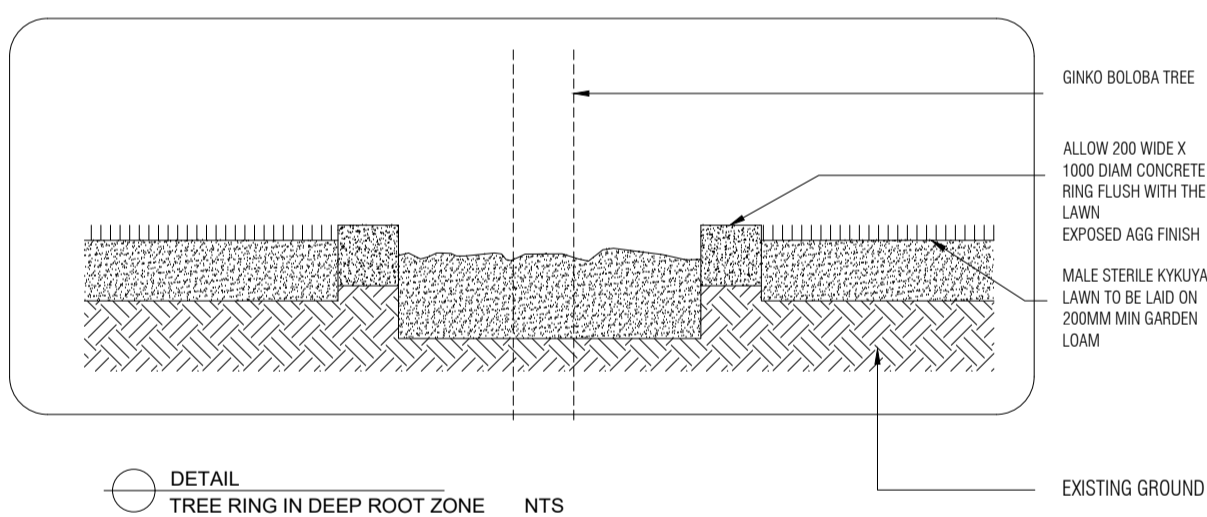




GROUND FLOOR STORM WATER  
PLAN 1 100 @A1



BASEMENT STORM WATER PLAN 1 100 @A1



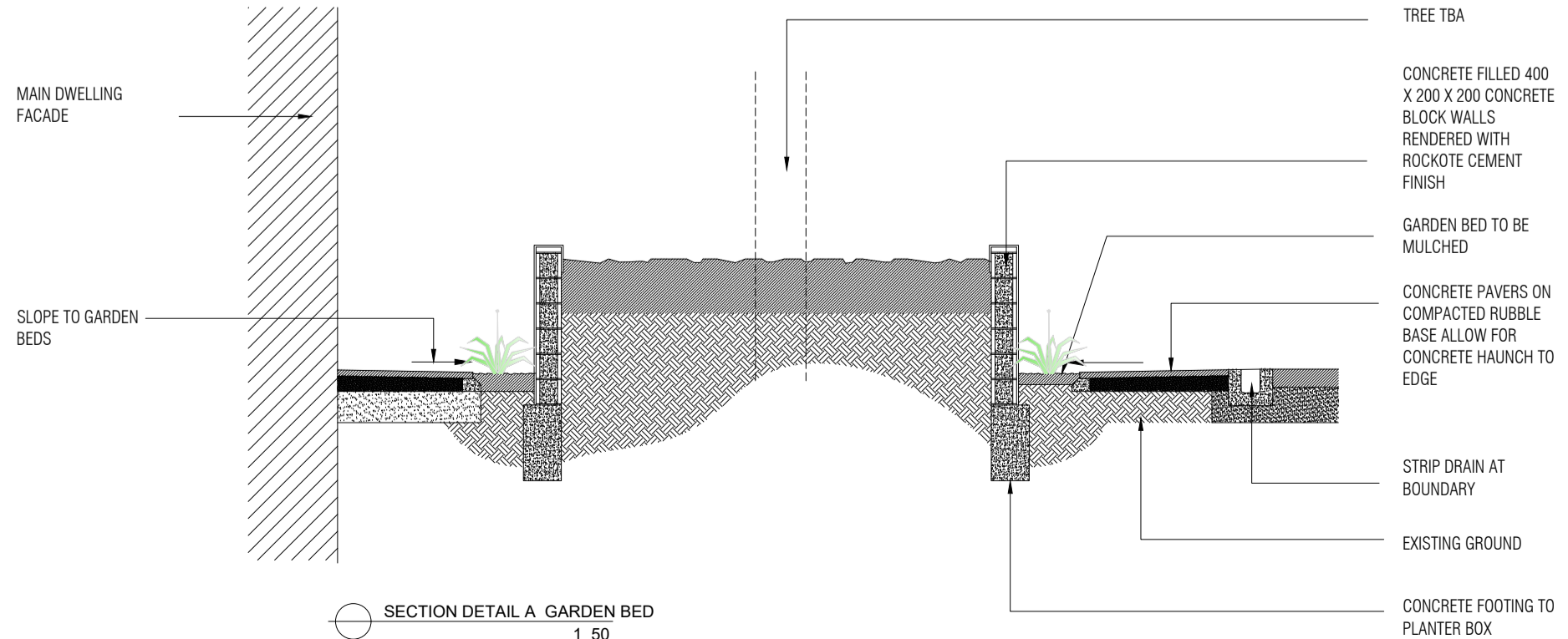
DETAIL  
TREE RING IN DEEP ROOT ZONE NTS

- CONCRETE BRICK PAVING
- EXPOSED AGGREGATE CONCRETE PAVING
- PROPOSED STERILE MALE KYKIYA GRASS
- EXISTING GROUND LEVELS
- PROPOSED LEVELS

- 2000 LTR RAINWATER TANK TO BE PLUMBED INTO THE DWELLING IN ACCORDANCE WITH AS 3500 AND PROVIDED WITH AN OVERFLOW DEVICE CONNECTED INTO STORM WATER DISPOSAL SYSTEM AND BE MOSQUITO PROOFED WITH N ON DEGRADABLE SCREENS ( MIN 7 X 7 MM SD OPENINGS ) ON THE INLET AND OVERFLOW
- MINIMUM OF 1000LTRS OF RAIN WATER NEEDS TO PLUMBED TO AT LEAST ONE WATER CLOSET OR WATER HEATER
- IN GROUND GAS METER
- IN GROUND WATER METER
- MAIN ELECTRICAL BOX IN WALL TO BE FLUSH

- 600 X 600 X 600 COONCRETE SUMP
- 300 X 300 X 600 COONCRETE SUMP
- MAIN SEWER RUN
- IN WALL LETTER BOX
- LAUNDRY CHUTE
- 100MM DIAM. OVERFLOW OUT TO KERB AND GUTTER
- 100MM DIAM. SEWER GRADE STORM WATER PIPE TO DISCHARGE INTO WATER TANK
- 100MM DIAM. SEWER GRADE STORM WATER PIPE TO DISCHARGE INTO KERB AND GUTTER
- 100MM DIAM. SURFACE WATER GRATED DRAIN
- GENERAL STORMWATER CONNECTION THROUGH THE ROAD VERGE ARE TO BE CONSTRUCTED OF 125 X 75 X 2MM RHS GI STEEL

- GINKGO BOLOBA ALLOW 200 WIDE X 1000 DIAM CONCRETE RING FLUSH WITH THE LAWN
- TREE TBA
- SYZGIUM PANICULATA PLANT @ 1M CENTRES



- TREE TBA
- CONCRETE FILLED 400 X 200 X 200 CONCRETE BLOCK WALLS RENDERED WITH ROCKOTE CEMENT FINISH
- GARDEN BED TO BE MULCHED
- CONCRETE PAVERS ON COMPACTED RUBBLE BASE ALLOW FOR CONCRETE HAUNCH TO EDGE
- STRIP DRAIN AT BOUNDARY
- EXISTING GROUND
- CONCRETE FOOTING TO PLANTER BOX

B	05.09.25	LOWER BUILDING 1000
A	03.09.25	RESTORE COTTAGE REWORK ADDITION

## OPTION 2

DESIGN DRAWINGS

DRAWING NO. 208.GIA DD.08.0.B

PROJECT FLINDERS

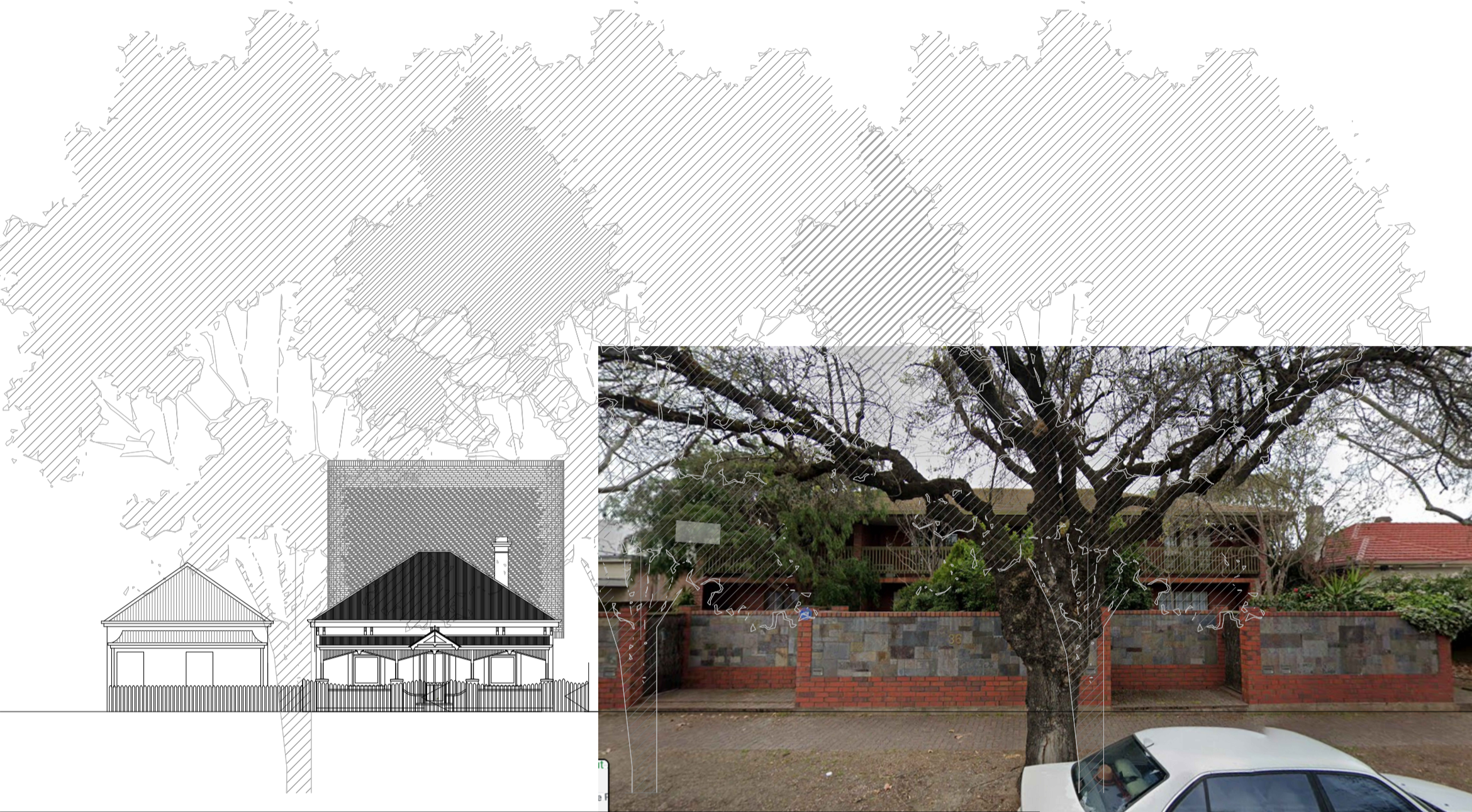
38 Flinders Street, NORWOOD, SA 5067

CLIENT CAUQUO

DRAWING TITLE STORM WATER PLAN

DETAILS Drawn: DPC as shown Date: JUNE 2025





38 FLINDERS ST  
36 FLINDERS ST

FLINDERS STREET ELEVATION



32 FLINDERS ST  
30 FLINDERS ST



28 FLINDERS ST  
24 FLINDERS ST



VIEW 1 ON DD4.0



VIEW 2 ON DD4.0



VIEW 3 ON DD4.0



VIEW 4 ON DD4.0

LITTLE WAKEFIELD STREET ELEVATIONS

XXXXX  
dcarchitecture.com.au

C 05.11.25 HEIGHT REDUCTION + PICKET FENCE  
A 03.09.25 RESTORE COTTAGE REWORK ADDITION

OPTION 2

DESIGN DRAWINGS

DRAWING NO.  
208.GIA DD.09.0.B

PROJECT  
FLINDERS

38 Flinders Street, NORWOOD, SA 5067

CLIENT  
CAVUOTO

DRAWING TITLE  
PLAN

DETAILS  
Drawn: DPC

Scale: as shown

Date: JUNE 2025





Application Summary

Application ID	23030946
Proposal	three storey additions and alterations to an existing dwelling, involving the creation of one additional dwelling
Location	38 FLINDERS ST KENT TOWN SA 5067

Representations

Representor 1 - Richard Thomson

Name	Richard Thomson
Address	
Submission Date	12/10/2025 05:32 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I oppose the development

**Reasons**  
The visual appearance of the proposed development as viewed from Flinders Street is not of the same character as the original building nor of the nearby residences. While the illustrations provided indicate that the height of the structure is not greatly different to existing neighbors, the exposure of the rear newly constructed development when viewed from Flinders Street would be substantive and imposing.

Attached Documents

Picture2-1548027.jpg
----------------------



## Representor 2 - David Osborn

Name	David Osborn
Address	
Submission Date	18/10/2025 08:33 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development

**Reasons**

As a predominantly heritage style residential area, we do not support 3 storey development on Little Wakefield Street as submitted - particularly one that dominates the rear of the block such as the proposed. We are deeply concerned about the potential for significant overlook onto neighbouring properties - particularly as the plans include a roof deck. The design of the exterior of the property is not consistent with the local area - at worst, it looks like a school gymnasium attached to the back of the current heritage building. The design is not consistent with the majority of heritage styled residences in the immediate vicinity.

**Attached Documents**

DATE 06.11.25

TO CITY OF NORWOOD AND ST PETERS

SUBJECT 38 FLINDERS STREET  
KENT TOWN SA 5067

RE REPRESENTATIONS POST PUBLIC NOTIFICATION

JOB NO 208.GIA

ATT. MARK THOMSON

REF APPLICATION ID 23030946

Dear Mark

Please find enclosed a copy of response to your Representations following Public Notification.

Response to Representor 1.

Richard Thomson of

We acknowledge the concern regarding the visual appearance of the proposed development when viewed from Flinders Street. The design has been carefully considered to ensure it complements the existing character of the area while remaining a contemporary and honest expression of its time.

A key component of this proposal is the **restoration of the original late-1800s cottage** that fronts Flinders Street. Over the years, this cottage has been heavily altered and has lost much of its original form and architectural integrity. In its current condition, it makes little contribution to the character of the street, presenting as a neglected and unsympathetic adaptation of what was once a fine example of early housing in the area.

The proposal seeks to **bring this original building back to life** — reinstating its proportions, detailing, and materiality to reflect its 19th-century origins. This restoration will greatly improve the Flinders Street presentation, returning a sense of authenticity and charm to the streetscape.

While the rear addition adopts a distinctly contemporary language, it has been designed to sit **recessively** behind the restored cottage. Its form, scale, and material palette have been carefully composed to ensure it reads as a **subordinate and complementary** element, not in competition with the heritage façade. From Flinders Street, the existing and proposed landscaping, together with the reinstated cottage, will largely screen the new structure, which will appear as a discreet backdrop rather than an imposing element.

In this way, the proposal achieves a balanced relationship between **heritage restoration and sensitive contemporary design**. The project not only preserves what remains of the historic fabric but actively enhances the streetscape by restoring a building that is currently in disrepair, ensuring it continues to contribute to the evolving architectural story of the area.

Although the form and materials of the rear addition are distinctly modern, the proposal has been designed to sit comfortably within the existing streetscape in terms of scale, proportion, and rhythm. The overall height aligns closely with neighbouring buildings, and the articulation of the façade, along with the use of recesses, varied materials, and a controlled colour palette, serves to visually reduce bulk and soften its presence when viewed from the public realm.

From Flinders Street, the view toward the rear addition will be filtered and partially obscured by the existing built form and established landscaping. While the new structure is visible, it has been intentionally designed to present as a recessive backdrop — one that does not compete with or overwhelm the original dwelling.

In this sense, the proposed development does not seek to replicate the old but rather to complement it through contrast — respecting the heritage character of the existing dwelling while allowing the new addition to read clearly as a contemporary layer in the site's ongoing evolution. This approach is consistent with good urban design and conservation principles, which advocate for a clear distinction between old and new to ensure architectural integrity over time.

## Response to Representor 2.

David Osborn of

We acknowledge the concerns raised regarding the height, character, and perceived visual impact of the proposed development on Little Wakefield Street. The intent of the design is to respect the heritage setting and rhythm of the area while restoring the significant late-1800s cottage at the front of the site, which currently makes little positive contribution to the streetscape due to extensive unsympathetic alterations over time.

This project represents an opportunity to **return the original dwelling to its former character and integrity**, reinstating its proportions, materials, and detailing so that it once again contributes meaningfully to the historic streetscape of Flinders Street. The contemporary addition is deliberately positioned behind the heritage building and is **visually recessive**, ensuring that the restored cottage remains the architectural focus from the public realm.

While the new built form rises to three storeys at the rear, its scale has been carefully managed through setbacks, articulation, and material selection. The upper level, including the roof terrace, has been designed to **minimise overlooking** through the use of screening, orientation, and the considered placement of openings. These measures ensure the privacy of adjoining properties is maintained and the amenity of neighbours is respected.

The design of the rear addition intentionally contrasts with the restored cottage to clearly distinguish between **old and new**, as supported by established heritage conservation and urban design principles. The intent is not to mimic historic detailing — which risks creating a false sense of heritage — but rather to create a **sympathetic and subordinate modern form** that complements the character of the area through proportion, materiality, and restraint.

Far from dominating the site, the proposed development brings coherence and purpose to what is currently a compromised and deteriorated property. The restoration of the original cottage, paired with a sensitively scaled and detailed contemporary extension, will **enhance both the property and the surrounding neighbourhood**, contributing positively to the ongoing story of the area's architectural evolution.

# HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **38 Flinders Street Kent Town**  
 APPLICATION NUMBER: **23030946**  
 DATE: 18 November 2025  
 PROPOSAL: Additions and alterations  
 HERITAGE STATUS: KENT TOWN 1 HISTORIC AREA OVERLAY  
 HERITAGE ADVISOR: David Brown, BB Architects  
 PLANNER: Mark Thomson



City of  
Norwood  
Payneham  
& St Peters

## ADVICE SOUGHT

I have met with the applicant several times over the past few years regarding this proposal. The most recent meeting discussed the current design.

## DESCRIPTION

The building on the site currently is a typical four room Victorian Cottage that has been rendered externally and has an unsympathetic front verandah. The site is located in the Established Neighbourhood Zone within the Kent Town 1 Historic Area Overlay.



## PROPOSAL

The proposal is to restore the dwelling to a state documented in a series of photographs from the 1960s, when the front verandah was still in an original form. There is also a three level rear new building with basement parking proposed.

## COMMENTS

The existing cottage has been neglected for many years, so the proposal to restore it is a great outcome for the streetscape. The proposed picket fence is also a good outcome in this context.

The proposed development at the rear is large, and more in keeping with the scale of the later buildings in the area like the adjacent townhouses, the commercial building and buildings in the rear lane. The streetscape scale of modest cottages is at least retained in this proposal with the retention and restoration of the old cottage.

The simple curved red brick form of the new building is set behind and detached from the cottage, so while clearly being a much larger form, the separation assists with it reading as new structure at the rear of the site, rather than attempting to add on to the old building with something this large.

The scale of the new building is still somewhat overbearing, but given the context with the flats to the southwest, and other tall buildings in this portion of Flinders Street, it is somewhat tolerable in this historic area. Obviously if it were only two levels it would be a better outcome, but those discussions have been concluded, and the architect has lowered the ceiling levels to pull the height of the structure down as much as he can.

Overall the design has come a long way, and has some merit in the materials and form. I am not really comfortable with the height, but to a certain extent the area is already quite compromised.

**5.2 DEVELOPMENT NUMBER – ID 25024174 – MICHAEL SERGI –  
24 NORTHUMBERLAND STREET HEATHPOOL SA 5068**

<b>DEVELOPMENT NO.:</b>	25024174
<b>APPLICANT:</b>	Michael Sergi
<b>ADDRESS:</b>	24 NORTHUMBERLAND ST HEATHPOOL SA 5068
<b>NATURE OF DEVELOPMENT:</b>	Two (2) privacy screens (retrospective)
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Established Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Character Area</li> <li>• Hazards (Flooding - General)</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Frontage (Minimum frontage for a detached dwelling is 10m; semi-detached dwelling is 9m; group dwelling is 18m)</li> <li>• Minimum Site Area (Minimum site area for a detached dwelling is 400 sqm; semi-detached dwelling is 400 sqm; group dwelling is 400 sqm)</li> <li>• Maximum Building Height (Levels) (Maximum building height is 2 levels)</li> <li>• Minimum Side Boundary Setback (Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher)</li> <li>• Site Coverage (Maximum site coverage is 50 per cent)</li> </ul>
<b>LODGEMENT DATE:</b>	17 September 2025
<b>RELEVANT AUTHORITY:</b>	Assessment Panel at City of Norwood Payneham & St. Peters
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) Version 2025.17 11/09/2025
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Marie Molinaro, Urban Planner
<b>REFERRALS STATUTORY:</b>	Nil
<b>REFERRALS NON-STATUTORY:</b>	Nil

**CONTENTS:**

<b>APPENDIX 1:</b>	<b>Relevant P&amp;D Code Policies</b>	<b>ATTACHMENT 5:</b>	<b>Representations</b>
<b>ATTACHMENT 1:</b>	<b>Application Documents</b>	<b>ATTACHMENT 6:</b>	<b>Response to Representations</b>
<b>ATTACHMENT 2:</b>	<b>Subject Land Map</b>		
<b>ATTACHMENT 3:</b>	<b>Zoning Map</b>		
<b>ATTACHMENT 4:</b>	<b>Representation Map</b>		

## DETAILED DESCRIPTION OF PROPOSAL & BACKGROUND INFORMATION:

The proposal is a retrospective application for two (2) privacy screen structures. The application documents refer to the screen structures as rear garden screen and front garden screen.

Both structures are located within a garden bed alongside the northern side boundary of the land. They are set-in approximately 140mm from an existing Colorbond grey side boundary fence. They are made of pre-colour treated steel in a grey colour that matches the side boundary fence. Both structures are open at the bottom, with a slatted screen at the top.

The rear garden screen is 10m long and a maximum of 2.65m high. It is comprised of four (4) 2.5m long panels.

The front garden screen is 5m long and maximum of 2.45m high. It is comprised of two (2), 2.5m long panels.

Council first became aware of the construction of the structures without Development Approval in July 2025. That same month, the owner was invited by the Council Compliance Officer to either remove the structure or lodge a development application to attempt to seek Development Approval for the structure.

The structures have been considered as a privacy screen, as they are not a fence or an outbuilding. Fence is not defined in the Planning & Design Code but is defined in the dictionary as an *“enclosure or barrier along the boundary of a park, field etc or any place to protect it from intruders or to define limits.”*

The structure is located within the subject land; and there is existing fencing forming the barrier along the boundary.

## DEVELOPMENT APPROVAL HISTORY:

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
8 May 1983	150/715/83	Erection of two-storey (garage and rumpus room) detached addition on residential allotment

## SUBJECT LAND & LOCALITY:

**Location reference:** 24 NORTHUMBERLAND ST HEATHPOOL SA 5068

**Title ref.:**        **Plan Parcel:**        **Council:** THE CITY OF NORWOOD PAYNEHAM AND ST PETERS  
CT 5682/558    F138406 AL26

The subject land has an area of 1446 square metres, and it is rectangular in shape. It is 23m wide and 61m long.

The land contains a detached single-storey dwelling that is centrally located on the site. A gravel driveway is on the northern side of the land, and between the gravel driveway and the side boundary is a garden bed. The privacy screen structures are located within the garden bed.

The length of the boundary shared with the adjoining site to the north is 42.67m long. The subject land is mostly flat, with Council records showing the adjoining site to the north (20 Northumberland Street) was excavated to create a bench level for the dwelling.

The locality contains dwellings that are mostly located on large, well-landscaped allotments. Residential amenity is considered to be high.

The subject land is identified in **Attachment 2 – Subject Land Map**. The zoning is shown in **Attachment 3 – Zoning Map**.

### CONSENT TYPE REQUIRED:

Planning Consent

### CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**  
Other - Residential - Privacy screen: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
The proposal is not listed as Accepted, Deemed-to-Satisfy or Restricted development in the Planning & Design Code, so it defaults to being a Performance Assessed type of development.

### PUBLIC NOTIFICATION

- **REASON**  
In accordance with Table 5 procedural matters of the Established Neighbourhood Zone, a privacy screen structure is not specifically listed as being excluded from public notification. The structure is not considered to be minor in nature.
- **LIST OF REPRESENTATIONS**  
Four (4) representations were received during the public notification period.

Two (2) of the representations were opposed to the proposal and two (2) of the representations were supportive of the proposal. Both opposed representors wish to be heard in support of their written representation.

The representor details are below:

Representor Name	Representor's Address	Position	Wishes to be Heard	Nominated Speaker (if relevant)
Natalia Esposito		Opposed	Yes	Natalia Esposito
John Esposito		Opposed	Yes	John Esposito
Christopher Tippet		Supportive	No	
Helen Tippet		Supportive	No	

- **SUMMARY**  
The issues contained in the opposed representations can be briefly summarised as follows:
  - Concern regarding the visual impact of the structures.
  - Concern regarding overshadowing impact from the structures.
  - Concern regarding loss of ventilation as a result of the structures.
  - Concern that the structures are not structurally adequate.

- Comment that the application details are not accurate.
- Comment that the existing boundary fence is adequate for privacy.
- Comment that the structures are not 'compliant' with the Planning & Design Code.

The opposed representor's location is shown in **Attachment 4 – Representation Map** and their written representations are included in **Attachment 5 – Representations**.

The applicant's response to the representations included clarifying the height of the rear garden screen. It is 2.65m high at the highest point and not a total of 2.4m high as included in the public notification documentation.

The applicant's response is provided in **Attachment 6 – Response to Representations**.

## AGENCY REFERRALS

Nil

## INTERNAL REFERRALS

Nil

## PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code (the Code), which are contained in **Appendix One**.

The Code does not speak directly to privacy screen structures, however this form of development is considered to be most similar in nature to a fence.

Performance Outcome 9.1 of the Design in Urban Areas module speaks directly to fence development:

*Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.*

Performance Outcome 11.1 of the Established Neighbourhood Zone speaks to residential ancillary structures in a more general sense, and seeks that they are:

*Sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.*

Performance Outcome 9.1 is considered as a two-part test, being that fencing is adequate for its intended purpose as a privacy tool *and* does so without unreasonably impacting adjoining land, both visually and from overshadowing. The first test is not considered to be met, as the existing side boundary fencing is considered to be of sufficient height to maintain both privacy and security. It is of solid construction, and approximately 1.8m high.

However, the Code is concerned with maintaining privacy as a result of overlooking from built form and the altering of ground levels. The applicant's response to the representations is that the screens were installed to maintain privacy resulting from the installation of surveillance equipment on the adjoining site to the north (22 Northumberland Street).

With respect to impact on adjoining land's access to sunlight (and ventilation) the privacy screen structures are located on the southern side of the adjoining site and are partly open (slatted in design) to allow for breeze to flow through.

Regarding Performance Outcome 11.1 of the Zone, firstly considering whether the structures detract from the streetscape or the appearance of the dwelling on the land. The rear garden screen is located on the side of the dwelling, however the front garden screen is forward of the dwelling. Nonetheless, it is setback approximately 17.5m from the front boundary and is slender in design and finished to match the existing structure. Further, there is a tall hedge along the front boundary, such that views of the front garden screen from the street are limited to that from the driveway cross-over.

Secondly, considering whether the structures detract from the neighbouring property, the associated Designated Performance Feature (DPF) anticipates that residential ancillary structures can be sited on a boundary up to a length of 8m (individually), provided that such structures do not exceed a combined length of 45 per cent of the boundary or are within 3m of another wall, unless it abuts a wall or structure on adjoining land.

Therefore, that part of the DPF that relates to boundary development is satisfied, except that the length of the rear garden screen is 10m long.

Regarding height, the DPF anticipates residential ancillary structures can be up to 3m high. The maximum height of the rear garden screen is approximately 3m above the ground level of the adjoining site to the north. Council records show the adjoining site to the north was cut into the land by approximately 330mm.

In a more qualitative assessment, the rear garden screen is adjacent the rear yard of the adjoining site to the north. However, the representation submissions show this part of the site is used as a paved clothes drying area, adjacent to an outbuilding. This area adjoins what the representors describe as a dining room of the dwelling. Council records show this room labelled as play/study room, with a separate family room adjacent this. In any event, both of these rooms have narrow window openings, that face towards the rear of land, with no openings facing directly south towards the subject land. Instead, the main family room opening (a set of french doors) faces north, away from the subject land. A narrow verandah at the rear of the family room is approximately 4.5m from the shared side boundary. A separate living/dining room also faces north, away from subject land. Thus, the 10m length and height of the rear garden screen is accepted, especially considering the design of the screen, in that it is partly open and constructed of pre-colour treated steel in a dark grey colour to match the existing boundary fence.

For the front garden screen, it is partly opposite a bedroom and laundry of the dwelling on adjoining land. A laundry is not considered a habitable room in the Code; and further this screen has the same appearance as the rear garden screen such that it is also accepted as not detracting from the neighbouring property.

The proposal is considered to be consistent with Performance Outcome 11.1.

#### Other

The representor's comments around the structural adequacy of the structures are acknowledged. However, this matter not a Planning Consent assessment consideration. If Planning Consent is granted, Building Consent will also be required.

## CONSIDERATION OF 'SERIOUSLY AT VARIANCE'

Having considered the proposal against the relevant provisions of the Planning & Design Code (version 2025.17 11/09/2025) the proposal is not considered to be seriously at variance with the provisions of the Planning & Design Code for the following reason:

- The Code does not speak directly to privacy screen structures, however it is considered to be similar in nature to a fence, which is a form of development anticipated in the Code.

## SUMMARY & CONCLUSION

The proposal seeks retrospective consent for two (2) privacy screen structures. The Planning & Design Code does not speak directly to this form of development; however it is considered similar in nature to a fence.

There are two (2) Performance Outcomes that have been considered as being most applicable to the proposal, that which speaks directly to fence development and that which speaks in a more generalised sense to residential ancillary development.

The proposal is considered to be partly at variance with the Performance Outcome directly speaking to fencing in that the existing boundary fence is sufficient to maintain privacy and security. However, this is in a Planning & Design Code sense, which seeks for fencing to manage impacts on privacy from built form and the altering of ground levels. The Code does not manage privacy impacts from other sources/activities which the applicant submits is the reason for the structures.

However; and perhaps more importantly, both proposed structures are considered to be consistent with the Performance Outcome relating more generally to residential ancillary structures. Both screens are not considered to detract from the neighbouring property both in terms of their appearance/design or access to natural light and ventilation.

## RECOMMENDATION

### GRANT PLANNING CONSENT

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 25024174, by Michael Sergi for two (2) privacy screens (retrospective) is **GRANTED** Planning Consent subject to the following conditions:

## CONDITIONS

### Planning Consent

#### Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

## **ADVISORY NOTES**

### **Planning Consent**

#### Advisory Note 1

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at [townhall@npsp.sa.gov.au](mailto:townhall@npsp.sa.gov.au). Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

#### Advisory Note 2

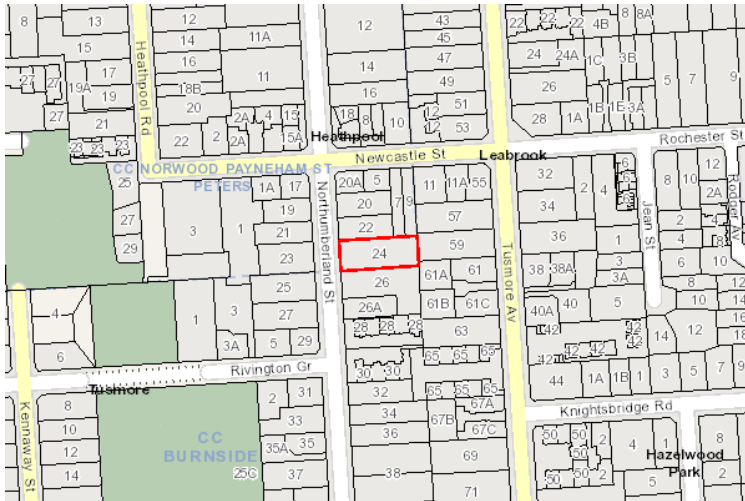
Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

#### Advisory Note 3

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

**Address: 24 NORTHUMBERLAND ST HEATHPOOL SA 5068**

To view a detailed interactive property map in SAPPA click on the map below



### Property Zoning Details

#### Zone

Established Neighbourhood

#### Overlay

Airport Building Heights (Regulated) (*All structures over 45 metres*)  
 Character Area (*NPSPC3*)  
 Hazards (Flooding - General)  
 Prescribed Wells Area  
 Regulated and Significant Tree  
 Stormwater Management  
 Urban Tree Canopy

#### Local Variation (TNV)

Minimum Frontage (*Minimum frontage for a detached dwelling is 10m; semi-detached dwelling is 9m; group dwelling is 18m*)  
 Minimum Site Area (*Minimum site area for a detached dwelling is 400 sqm; semi-detached dwelling is 400 sqm; group dwelling is 400 sqm*)  
 Maximum Building Height (Levels) (*Maximum building height is 2 levels*)  
 Minimum Side Boundary Setback (*Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher*)  
 Site Coverage (*Maximum site coverage is 50 per cent*)

### Development Pathways

- Established Neighbourhood

## 1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Air handling unit, air conditioning system or exhaust fan
- Brush fence
- Building alterations
- Building work on railway land
- Outbuilding
- Partial demolition of a building or structure
- Private bushfire shelter
- Shade sail
- Solar photovoltaic panels (roof mounted)
- Swimming pool or spa pool and associated swimming pool safety features
- Verandah
- Water tank (above ground)
- Water tank (underground)

## 2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Ancillary accommodation
- Carport
- Deck
- Dwelling addition
- Outbuilding
- Temporary accommodation in an area affected by bushfire
- Verandah

## 3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies.

Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Ancillary accommodation
- Carport
- Co-located Housing in the Co-located Housing Overlay
- Deck
- Demolition
- Detached dwelling
- Dwelling addition
- Fence
- Group dwelling
- Land division
- Outbuilding
- Residential flat building
- Retaining wall
- Row dwelling
- Semi-detached dwelling
- Tree-damaging activity
- Verandah

## 4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

## Part 2 - Zones and Sub Zones

### Established Neighbourhood Zone

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Ancillary accommodation</li> <li>(b) Community facility</li> <li>(c) Consulting room</li> <li>(d) Dwelling</li> <li>(e) Office</li> <li>(f) Recreation area</li> <li>(g) Shop.</li> </ul>
<p>PO 1.2</p> <p>Commercial activities improve community access to services are of a scale and type to maintain residential amenity.</p>	<p>DTS/DPF 1.2</p> <p>A shop, consulting room or office (or any combination thereof) satisfies any one of the following:</p> <ul style="list-style-type: none"> <li>(a) it is located on the same allotment and in conjunction with a dwelling where all the following are satisfied: <ul style="list-style-type: none"> <li>(i) does not exceed 30% of the total floor area of the associated dwelling (excluding any garage or carport) or 50m<sup>2</sup> gross leasable floor area, whichever is the lesser</li> <li>(ii) does not involve the display of goods in a window or about the dwelling or its curtilage</li> </ul> </li> <li>(b) it reinstates a former shop, consulting room or office in an existing building (or portion of a building) and satisfies one of the following: <ul style="list-style-type: none"> <li>(i) the building is a State or Local Heritage Place</li> <li>(ii) is in conjunction with a dwelling and there is no increase in the gross leasable floor area previously used for non-residential purposes</li> </ul> </li> <li>(c) is located more than 500m from an Activity Centre and satisfies one of the following: <ul style="list-style-type: none"> <li>(i) does not exceed 100m<sup>2</sup> gross leasable floor area (individually or combined, in a single building) where the site does not have a frontage to a State Maintained Road</li> <li>(ii) does not exceed 200m<sup>2</sup> gross leasable floor area (individually or combined, in a single building) where the site has a frontage to a State Maintained Road</li> </ul> </li> <li>(d) the development site abuts an Activity Centre and all the following are satisfied: <ul style="list-style-type: none"> <li>(i) it does not exceed 200m<sup>2</sup> gross leasable floor area (individually or combined, in a single building)</li> </ul> </li> </ul>

	<div>(ii) the proposed development will not result in a combined gross leasable floor area (existing and proposed) of all shops, consulting rooms and offices that abut the Activity Centre in this zone exceeding the lesser of the following:<div>A. 50% of the existing gross leasable floor area within the Activity Centre</div><div>B. 1000m<sup>2</sup>.</div></div>		
<div>PO 1.3</div> <div>Non-residential development sited and designed to complement the residential character and amenity of the neighbourhood.</div>	<div>DTS/DPF 1.3</div> <div>None are applicable.</div>		
<div>PO 1.4</div> <div>Non-residential development located and designed to improve community accessibility to services, primarily in the form of:<div>(a) small scale commercial uses such as offices, shops and consulting rooms</div><div>(b) community services such as educational facilities, community centres, places of worship, child care facilities and other health and welfare services</div><div>(c) services and facilities ancillary to the function or operation of supported accommodation or retirement facilities</div><div>(d) open space and recreation facilities.</div></div>	<div>DTS/DPF 1.4</div> <div>None are applicable.</div>		
<div>PO 1.5</div> <div>Expansion of existing community services such as educational facilities, community facilities and child care facilities in a manner which complements the scale of development envisaged by the desired outcome for the neighbourhood.</div>	<div>DTS/DPF 1.5</div> <div>Alteration of or addition to existing educational facilities, community facilities or child care facilities where all the following are satisfied:<div>(a) set back at least 3m from any boundary shared with a residential land use</div><div>(b) building height not exceeding 1 building level</div><div>(c) the total floor area of the building not exceeding 150% of the total floor area prior to the addition/alteration</div><div>(d) off-street vehicular parking exists or will be provided in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</div></div>		
Site Dimensions and Land Division			
<div>PO 2.1</div> <div>Allotments/sites for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and are compatible with the prevailing development pattern in the locality.</div>	<div>DTS/DPF 2.1</div> <div>Development will not result in more than 1 dwelling on an existing allotment</div> <div>or</div> <div>Development involves the conversion of an existing dwelling into two or more dwellings and the existing dwelling retains its original external appearance to the public road</div> <div>or</div> <div>Allotments/sites for residential purposes accord with the following:<div>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</div></div> <table><tr><td>Minimum Site Area</td></tr><tr><td>Minimum site area for a detached dwelling is 400 sqm; semi-detached dwelling is 400 sqm; group dwelling is 400 sqm</td></tr></table>	Minimum Site Area	Minimum site area for a detached dwelling is 400 sqm; semi-detached dwelling is 400 sqm; group dwelling is 400 sqm
Minimum Site Area			
Minimum site area for a detached dwelling is 400 sqm; semi-detached dwelling is 400 sqm; group dwelling is 400 sqm			

	<p>and</p> <p>(b) site frontages (or allotment frontages in the case of land division) are not less than:</p> <table><tr><th>Minimum Frontage</th></tr><tr><td>Minimum frontage for a detached dwelling is 10m; semi-detached dwelling is 9m; group dwelling is 18m</td></tr></table> <p>In relation to DTS/DPF 2.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) no value is returned in (a) or (b) (i.e. there is a blank field or the relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.</p>	Minimum Frontage	Minimum frontage for a detached dwelling is 10m; semi-detached dwelling is 9m; group dwelling is 18m
Minimum Frontage			
Minimum frontage for a detached dwelling is 10m; semi-detached dwelling is 9m; group dwelling is 18m			
<p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.</p>	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <p>(a) the balance of the allotment accords with the requirements specified in Established Neighbourhood Zone DTS/DPF 2.1, with 10% reduction in minimum site area where located in a Character Area Overlay or Historic Area Overlay</p> <p>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:</p> <p>(i) private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(ii) car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</p>		
Site coverage			
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <table><tr><th>Site Coverage</th></tr><tr><td>Maximum site coverage is 50 per cent</td></tr></table> <p>In instances where:</p> <p>(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</p> <p>(b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p>	Site Coverage	Maximum site coverage is 50 per cent
Site Coverage			
Maximum site coverage is 50 per cent			
Building Height			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table><tr><th>Maximum Building Height (Levels)</th></tr><tr><td>Maximum building height is 2 levels</td></tr></table>	Maximum Building Height (Levels)	Maximum building height is 2 levels
Maximum Building Height (Levels)			
Maximum building height is 2 levels			

	<p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</p> <p>In relation to DTS/DPF 4.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer or Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>										
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <p>(a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street</p> <p>or</p> <p>(b) meet all of the following:</p> <p>(i) do not include any development forward of the front façade building line</p> <p>(ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.</p>										
Primary Street Setback											
<p>PO 5.1</p> <p>Buildings are set back from primary street boundaries consistent with the existing streetscape.</p>	<p>DTS/DPF 5.1</p> <p>Buildings setback from the primary street boundary in accordance with the following table:</p> <table> <tr> <th>Development Context</th><th>Minimum setback</th></tr> <tr> <td>There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.</td><td>The average setback of the existing buildings.</td></tr> <tr> <td>There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.</td><td>The setback of the existing building.</td></tr> <tr> <td>There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.</td><td> <p>(a) Where the existing building shares the same primary street frontage – the setback of the existing building</p> <p>(b) Where the existing building has a different primary street frontage - no DTS / DPF is applicable</p> </td></tr> <tr> <td>There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.</td><td>No DTS/DPF is applicable.</td></tr> </table>	Development Context	Minimum setback	There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.	There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	The setback of the existing building.	There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	<p>(a) Where the existing building shares the same primary street frontage – the setback of the existing building</p> <p>(b) Where the existing building has a different primary street frontage - no DTS / DPF is applicable</p>	There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	No DTS/DPF is applicable.
Development Context	Minimum setback										
There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.										
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	The setback of the existing building.										
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	<p>(a) Where the existing building shares the same primary street frontage – the setback of the existing building</p> <p>(b) Where the existing building has a different primary street frontage - no DTS / DPF is applicable</p>										
There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	No DTS/DPF is applicable.										

	<p>For the purposes of <b>DTS/DPF 5.1</b>:</p> <p>(a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback</p> <p>(b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table</p>		
Secondary Street Setback			
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the secondary street boundary (other than a rear laneway):</p> <p>(a) no less than:</p> <table><tr><td><b>Minimum Side Boundary Setback</b></td></tr><tr><td>Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher</td></tr></table> <p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a building (except for ancillary buildings and structures) on any adjoining allotment is closer to the secondary street, not less than the distance of that building from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>	<b>Minimum Side Boundary Setback</b>	Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher
<b>Minimum Side Boundary Setback</b>			
Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher			
Boundary Walls			
<p>PO 7.1</p> <p>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>		
<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>	Side Boundary Setback		
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <p>(a) no less than:</p> <table><tr><td><b>Minimum Side Boundary Setback</b></td></tr><tr><td>Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher</td></tr></table> <p>(b) in all other cases (i.e., there is a blank field), then:</p>	<b>Minimum Side Boundary Setback</b>	Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher
<b>Minimum Side Boundary Setback</b>			
Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher			

	<ul style="list-style-type: none"> <li>(i) where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm</li> <li>(ii) for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level</li> <li>(iii) for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.</li> </ul>
Rear Boundary Setback	
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> <li>(a) separation between buildings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) private open space</li> <li>(d) space for landscaping and vegetation.</li> </ul>	<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> <li>(a) 4m for the first building level</li> <li>(b) 6m for any second building level.</li> </ul>
Appearance	
<p>PO 10.1</p> <p>Garages and carports are designed and sited to be discreet and not dominate the appearance of the associated dwelling when viewed from the street.</p>	<p>DTS/DPF 10.1</p> <p>Garages and carports facing a street (other than an access lane way):</p> <ul style="list-style-type: none"> <li>(a) are set back at least 0.5m behind the building line of the associated dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.</li> </ul>
<p>PO 10.2</p> <p>The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>
Ancillary buildings and structures	
<p>PO 11.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 11.1</p> <p>Ancillary buildings and structures:</p> <ul style="list-style-type: none"> <li>(a) are ancillary to a dwelling erected on the same site</li> <li>(b) have a floor area not exceeding 60m<sup>2</sup></li> <li>(c) are constructed, added to or altered so that they are situated at least <ul style="list-style-type: none"> <li>(i) 500mm behind the building line of the dwelling to which they are ancillary or</li> <li>(ii) 900mm from a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> <li>(i) is set back at least 5.5m from the boundary of the primary street</li> </ul> </li> </ul>

	<p>(ii) when facing a primary street or secondary street has a total door/opening not exceeding 7m or 30% of the site frontage (whichever is the lesser) when facing a primary street or secondary street</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), a length not exceeding 8m unless:</p> <p>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and</p> <p>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</p> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary not exceeding 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure</p> <p>(h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end), and where located to the side of the associated dwelling, have a wall height or post height no higher than the wall height of the associated dwelling</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, are pre-colour treated or painted in a non-reflective colour.</p> <p>(k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:</p> <p>(i) a total area as determined by the following table:</p> <table> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>201-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p>PO 11.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 11.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p>PO 11.3</p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p>DTS/DPF 11.3</p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p>										

- (b) have a floor area not exceeding the following:

Allotment size	Floor area
≤500m <sup>2</sup>	60m <sup>2</sup>
>500m <sup>2</sup>	80m <sup>2</sup>

- (c) are not constructed, added to or altered so that any part is situated:
- (i) in front of any part of the building line of the main building to which it is ancillary  
or
  - (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)
- (d) in the case of a garage or carport, the garage or carport:
- (i) is set back at least 5.5m from the boundary of the primary street
- (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:
- (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary
  - (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent
- (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary
- (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure
- (h) have a wall height (or post height) not exceeding 3m (and not including a gable end)
- (i) have a roof height where no part of the roof is more than 5m above the natural ground level
- (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.

## Advertisements

PO 12.1

Advertisements identify the associated business activity, and do not detract from the residential character of the locality.

DTS/DPF 12.1

Advertisements relating to a lawful business activity associated with a residential use do not exceed 0.3m<sup>2</sup> and mounted flush with a wall or fence.

DTS/DPF 7.1

Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:

(a)

Minimum Side Boundary Setback
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Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher
--

or

- (b) where no side boundary setback value is returned in (a) above, and except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:
- (i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height
  - (ii) side boundary walls do not:

- A. exceed 3.2m in wall height from the lower of the natural or finished ground level
- B. exceed 8m in length
- C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary
- D. encroach within 3m of any other existing or proposed boundary walls on the subject land.

### Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) residential flat building.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</li> <li>or</li> </ul> </li> </ul>

	(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or</li> <li>2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) recreation area</li> <li>(k) replacement building</li> <li>(l) retaining wall</li> <li>(m) shade sail</li> <li>(n) solar photovoltaic panels (roof mounted)</li> <li>(o) swimming pool or spa pool and associated swimming pool safety features</li> <li>(p) temporary accommodation in an area affected by bushfire</li> <li>(q) tree damaging activity</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	None specified.
<p>6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> </ul>	Except where not undertaken by the Crown, a Council or an essential infrastructure provider.

(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.	
7. Demolition.	Except any of the following: <ol style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ol>
8. Railway line.	Except where located outside of a rail corridor or rail reserve.
<b>Placement of Notices - Exemptions for Performance Assessed Development</b>	
None specified.	
<b>Placement of Notices - Exemptions for Restricted Development</b>	
None specified.	

## Part 3 - Overlays

### Airport Building Heights (Regulated) Overlay

#### Assessment Provisions (AP)

##### Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

##### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.  In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.
PO 1.2 Exhaust stacks are designed and sited to minimise plume impacts on aircraft movements associated with a certified or registered aerodrome.	DTS/DPF 1.2 Development does not include exhaust stacks.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development:</p> <p>(a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i></p> <p>(b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i>.</p>	<p>The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.</p>	<p>To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.</p>	<p>Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

## Character Area Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Valued streetscape characteristics and development patterns are reinforced through contextually responsive development, design and adaptive reuse that responds to the attributes expressed in the Character Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
<p>PO 1.1</p> <p>All development is undertaken having consideration to the valued attributes expressed in the Character Area Statement.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
Built Form	
<p>PO 2.1</p> <p>The form of new buildings and structures that are visible from the public realm are consistent with the valued streetscape characteristics of the character area.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Development is consistent with the prevailing building and wall heights in the character area.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>

PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) are consistent with the prevailing characteristics in the character area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the character area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the character area.	DTS/DPF 2.5 None are applicable.
Alterations and Additions	
PO 3.1 Additions and alterations do not adversely impact on the streetscape character.	DTS/DPF 3.1 Additions and alterations:  (a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street or (b) meet all of the following: (i) do not include any development forward of the front façade building line (ii) any side or rear extensions are no closer to the side boundary than the existing building (iii) do not involve the construction or alteration of a second or subsequent building level.
PO 3.2 Adaptive reuse and revitalisation of buildings to retain local character consistent with the Character Area Statement.	DTS/DPF 3.2 None are applicable.
Ancillary Development	
PO 4.1 Ancillary development, including carports, outbuildings and garages, complements the character of the area and associated building(s).	DTS/DPF 4.1 None are applicable.
PO 4.2 Ancillary development, including carports, outbuildings and garages, is located behind the building line of the principal building(s).	DTS/DPF 4.2 None are applicable.
PO 4.3 Advertising and advertising hoardings are located and designed to complement the building, be unobtrusive, be below the parapet line, not conceal or obstruct significant architectural elements and detailing, or dominate the building or its setting.	DTS/DPF 4.3 None are applicable.
PO 4.4 Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the of the associated building.	DTS/DPF 4.4 None are applicable.
Land Division	
PO 5.1 Land division creates allotments that are:	DTS/DPF 5.1 None are applicable.

<p>(a) compatible with the surrounding pattern of subdivision in the character area</p> <p>(b) of a dimension to accommodate buildings of a bulk and scale that reflect existing buildings and setbacks in the character area.</p>	
Context and Streetscape Amenity	
<p>PO 6.1</p> <p>The width of driveways and other vehicle access ways are consistent with the prevalent width of existing driveways in the character area.</p>	<p>DTS/DPF 6.1</p> <p>None are applicable.</p>
<p>PO 6.2</p> <p>Development maintains the valued landscape pattern and characteristics that contribute to the character area, except where they compromise safety, create nuisance, or impact adversely on existing buildings or infrastructure.</p>	<p>DTS/DPF 6.2</p> <p>None are applicable.</p>

## Character Area Statements

Statement#	Statement														
Character Areas affecting City of Norwood, Payneham and St Peters															
NPSPC3	<p><b>Heathpool/Marryatville Character Area Statement (NPSP-C3)</b></p> <p>The Character Area Overlay identifies localities that comprise valued character attributes. They can be characterised by a consistent rhythm of allotment patterns, building setting and spacing, landscape or natural features and the scale, proportion and form of buildings and their key elements.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of a Character Area.</p> <p>The preparation of a Contextual Analysis can assist in determining potential additional attributes of a Character Area where these are not identified in the below table.</p> <table border="1" data-bbox="258 1218 1519 2114"> <tr> <td data-bbox="258 1218 523 1397">Eras, themes and context</td><td data-bbox="523 1218 1519 1397"> <p>Pre-1940.</p> <p>Primarily low-scale and low density residential. Detached (including battleaxe in Marryatville east and west of Clapton Road), semi-detached and group dwellings. Residential flat buildings in Marryatville east and west of Clapton Road.</p> </td></tr> <tr> <td data-bbox="258 1397 523 1487">Allotments, subdivision and built form patterns</td><td data-bbox="523 1397 1519 1487">Original, pre-1940s land division patterns.</td></tr> <tr> <td data-bbox="258 1487 523 1621">Architectural styles, detailing and built form features</td><td data-bbox="523 1487 1519 1621"> <p>Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.</p> <p>Semi-detached dwellings often presenting as single dwellings.</p> </td></tr> <tr> <td data-bbox="258 1621 523 1711">Building height</td><td data-bbox="523 1621 1519 1711">Single storey, with some two storey to the rear of buildings (with single storey appearance to primary street frontage).</td></tr> <tr> <td data-bbox="258 1711 523 1778">Materials</td><td data-bbox="523 1711 1519 1778">Varied, traditional materials.</td></tr> <tr> <td data-bbox="258 1778 523 1980">Fencing</td><td data-bbox="523 1778 1519 1980"> <p>Low, open-style fencing that allows connectivity to the street.</p> <p>Front fencing and side fencing (between the front of a dwelling and the street) and landscaping are important components of streetscape character.</p> <p>Some more solid forms of fencing along arterial roads.</p> </td></tr> <tr> <td data-bbox="258 1980 523 2114">Setting, landscaping, streetscape and public realm features</td><td data-bbox="523 1980 1519 2114"> <p>Vehicle garaging, driveways and front fences are not dominant streetscape elements.</p> <p>In most areas mature street tree plantings provide an overall visual coherence to the streets.</p> <p>Soft front landscaping, including trees.</p> </td></tr> </table>	Eras, themes and context	<p>Pre-1940.</p> <p>Primarily low-scale and low density residential. Detached (including battleaxe in Marryatville east and west of Clapton Road), semi-detached and group dwellings. Residential flat buildings in Marryatville east and west of Clapton Road.</p>	Allotments, subdivision and built form patterns	Original, pre-1940s land division patterns.	Architectural styles, detailing and built form features	<p>Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.</p> <p>Semi-detached dwellings often presenting as single dwellings.</p>	Building height	Single storey, with some two storey to the rear of buildings (with single storey appearance to primary street frontage).	Materials	Varied, traditional materials.	Fencing	<p>Low, open-style fencing that allows connectivity to the street.</p> <p>Front fencing and side fencing (between the front of a dwelling and the street) and landscaping are important components of streetscape character.</p> <p>Some more solid forms of fencing along arterial roads.</p>	Setting, landscaping, streetscape and public realm features	<p>Vehicle garaging, driveways and front fences are not dominant streetscape elements.</p> <p>In most areas mature street tree plantings provide an overall visual coherence to the streets.</p> <p>Soft front landscaping, including trees.</p>
Eras, themes and context	<p>Pre-1940.</p> <p>Primarily low-scale and low density residential. Detached (including battleaxe in Marryatville east and west of Clapton Road), semi-detached and group dwellings. Residential flat buildings in Marryatville east and west of Clapton Road.</p>														
Allotments, subdivision and built form patterns	Original, pre-1940s land division patterns.														
Architectural styles, detailing and built form features	<p>Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.</p> <p>Semi-detached dwellings often presenting as single dwellings.</p>														
Building height	Single storey, with some two storey to the rear of buildings (with single storey appearance to primary street frontage).														
Materials	Varied, traditional materials.														
Fencing	<p>Low, open-style fencing that allows connectivity to the street.</p> <p>Front fencing and side fencing (between the front of a dwelling and the street) and landscaping are important components of streetscape character.</p> <p>Some more solid forms of fencing along arterial roads.</p>														
Setting, landscaping, streetscape and public realm features	<p>Vehicle garaging, driveways and front fences are not dominant streetscape elements.</p> <p>In most areas mature street tree plantings provide an overall visual coherence to the streets.</p> <p>Soft front landscaping, including trees.</p>														

Statement#	Statement	
		Some limited advertising and signage which complements scale and architecture of associated buildings.
	Representative Buildings	[Not identified]

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Hazards (Flooding – General) Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use	
PO 1.1 Buildings housing vulnerable people, community services facilities, key infrastructure and emergency services are sited away from flood areas enable uninterrupted operation of services and reduce likelihood of entrapment.	DTS/DPF 1.1 Child care facilities, educational facilities, retirement and supported accommodation, emergency services facilities, hospitals and prisons located outside the 1% AEP flood event.
Flood Resilience	
PO 2.1 Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than:  In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.
Environmental Protection	
PO 3.1 Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building during a 1% AEP flood event to avoid potential environmental harm.	DTS/DPF 3.1 Development involving the storage or disposal of hazardous materials is wholly located outside of the 1% AEP flood plain or flow path.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Prescribed Wells Area Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Sustainable water use in prescribed wells areas.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>All development, but in particular involving any of the following:</p> <ul style="list-style-type: none"> <li>(a) horticulture</li> <li>(b) activities requiring irrigation</li> <li>(c) aquaculture</li> <li>(d) industry</li> <li>(e) intensive animal husbandry</li> <li>(f) commercial forestry</li> </ul> <p>has a lawful, sustainable and reliable water supply that does not place undue strain on water resources in prescribed wells areas.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies either of the following:</p> <ul style="list-style-type: none"> <li>(a) the applicant has a current water licence in which sufficient spare capacity exists to accommodate the water needs of the proposed use or</li> <li>(b) the proposal does not involve the taking of water for which a licence would be required under the <i>Landscape South Australia Act 2019</i>.</li> </ul>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development that require or may require water to be taken in addition to any allocation that has already been granted under the <i>Landscape South Australia Act 2019</i> :	The Chief Executive of the Department of the Minister responsible for the administration of the <i>Landscape South Australia Act 2019</i> .	To provide expert technical assessment and direction to the relevant authority on the taking of water to ensure	Development of a class to which Schedule 9

<ul style="list-style-type: none"> <li>(a) horticulture</li> <li>(b) activities requiring irrigation</li> <li>(c) aquaculture</li> <li>(d) industry</li> <li>(e) intensive animal husbandry</li> <li>(f) commercial forestry.</li> </ul>		development is undertaken sustainably.	clause 3 item 13 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
Commercial forestry that requires a forest water licence under Part 8 Division 6 of the <i>Landscape South Australia Act 2019</i> .			

## Regulated and Significant Tree Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Tree Retention and Health	
PO 1.1 Regulated trees are retained where they: <ul style="list-style-type: none"> <li>(a) make an important visual contribution to local character and amenity</li> <li>(b) are indigenous to the local area and listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species and / or</li> <li>(c) provide an important habitat for native fauna.</li> </ul>	DTS/DPF 1.1 None are applicable.
PO 1.2 Significant trees are retained where they: <ul style="list-style-type: none"> <li>(a) make an important contribution to the character or amenity of the local area</li> <li>(b) are indigenous to the local area and are listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species</li> <li>(c) represent an important habitat for native fauna</li> <li>(d) are part of a wildlife corridor of a remnant area of native vegetation</li> <li>(e) are important to the maintenance of biodiversity in the local environment and / or</li> <li>(f) form a notable visual element to the landscape of the local area.</li> </ul>	DTS/DPF 1.2 None are applicable.
PO 1.3	DTS/DPF 1.3

<p>A tree damaging activity not in connection with other development satisfies (a) and (b):</p> <p>(a) tree damaging activity is only undertaken to:</p> <ul style="list-style-type: none"> <li>(i) remove a diseased tree where its life expectancy is short</li> <li>(ii) mitigate an unacceptable risk to public or private safety due to limb drop or the like</li> <li>(iii) rectify or prevent extensive damage to a building of value as comprising any of the following: <ul style="list-style-type: none"> <li>A. a Local Heritage Place</li> <li>B. a State Heritage Place</li> <li>C. a substantial building of value</li> </ul> </li> </ul> <p>and there is no reasonable alternative to rectify or prevent such damage other than to undertake a tree damaging activity</p> <ul style="list-style-type: none"> <li>(iv) reduce an unacceptable hazard associated with a tree within 20m of an existing residential, tourist accommodation or other habitable building from bushfire</li> <li>(v) treat disease or otherwise in the general interests of the health of the tree and / or</li> <li>(vi) maintain the aesthetic appearance and structural integrity of the tree</li> </ul> <p>(b) in relation to a significant tree, tree-damaging activity is avoided unless all reasonable remedial treatments and measures have been determined to be ineffective.</p>	<p>None are applicable.</p>
<p>PO 1.4</p> <p>A tree-damaging activity in connection with other development satisfies all the following:</p> <ul style="list-style-type: none"> <li>(a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible</li> <li>(b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.</li> </ul>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
Ground work affecting trees	
<p>PO 2.1</p> <p>Regulated and significant trees, including their root systems, are not unduly compromised by excavation and / or filling of land, or the sealing of surfaces within the vicinity of the tree to support their retention and health.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Land Division	
<p>PO 3.1</p> <p>Land division results in an allotment configuration that enables its subsequent development and the retention of regulated and significant trees as far as is reasonably practicable.</p>	<p>DTS/DPF 3.1</p> <p>Land division where:</p> <ul style="list-style-type: none"> <li>(a) there are no regulated or significant trees located within or adjacent to the plan of division</li> <li>or</li> <li>(b) the application demonstrates that an area exists to accommodate subsequent development of proposed allotments after an allowance has been made for a tree protection zone around any regulated tree within and adjacent to the plan of division.</li> </ul>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Stormwater Management Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature									
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none"><li>(a) maximise conservation of water resources</li><li>(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded</li><li>(c) manage stormwater runoff quality.</li></ul>	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings, co-located housing or dwellings within a residential flat building:</p> <ul style="list-style-type: none"><li>(a) includes rainwater tank storage:<ul style="list-style-type: none"><li>(i) connected to at least:<ul style="list-style-type: none"><li>A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area</li><li>B. in all other cases, 80% of the roof area</li></ul></li><li>(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m<sup>2</sup></li><li>(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m<sup>2</sup> or greater</li><li>(iv) with a minimum total capacity in accordance with Table 1</li><li>(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank</li></ul></li><li>(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area</li></ul> <p>Table 1: Rainwater Tank</p> <table><tr><th>Site size (m<sup>2</sup>)</th><th>Minimum retention volume (Litres)</th><th>Minimum detention volume (Litres)</th></tr><tr><td>&lt;200</td><td>1000</td><td>1000</td></tr><tr><td>200-400</td><td>2000</td><td>Site perviousness &lt;30%: 1000</td></tr></table>	Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)	<200	1000	1000	200-400	2000	Site perviousness <30%: 1000
Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)								
<200	1000	1000								
200-400	2000	Site perviousness <30%: 1000								

			Site perviousness ≥30%: N/A	
	>401	4000	Site perviousness <35%: 1000  Site perviousness ≥35%: N/A	

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Urban Tree Canopy Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature			
PO 1.1	DTS/DPF 1.1			
Trees are planted or retained to contribute to an urban tree canopy.	Tree planting is provided in accordance with the following:			
	Site size per dwelling (m <sup>2</sup> )		Tree size* and number required per dwelling	
	<450		1 small tree	
	450-800		1 medium tree or 2 small trees	
	>800		1 large tree or 2 medium trees or 4 small trees	
	*refer Table 1 Tree Size			
	Table 1 Tree Size			
	Tree size	Mature height	Mature spread	Soil area around tree within development site

	(minimum)	(minimum)	(minimum)
Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m
Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m
Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m <sup>2</sup> and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
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None	None	None	None
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## Part 4 - General Development Policies

### Advertisements

#### Assessment Provisions (AP)

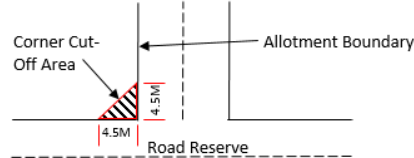
Desired Outcome (DO)

Desired Outcome	
DO 1	Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Appearance	
<p>PO 1.1</p> <p>Advertisements are compatible and integrated with the design of the building and/or land they are located on.</p>	<p>DTS/DPF 1.1</p> <p>Advertisements attached to a building satisfy all of the following:</p> <ul style="list-style-type: none"> <li>(a) are not located in a Neighbourhood-type zone</li> <li>(b) where they are flush with a wall: <ul style="list-style-type: none"> <li>(i) if located at canopy level, are in the form of a fascia sign</li> <li>(ii) if located above canopy level: <ul style="list-style-type: none"> <li>A. do not have any part rising above parapet height</li> <li>B. are not attached to the roof of the building</li> </ul> </li> </ul> </li> <li>(c) where they are not flush with a wall: <ul style="list-style-type: none"> <li>(i) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure</li> <li>(ii) if attached to a two-storey building: <ul style="list-style-type: none"> <li>A. has no part located above the finished floor level of the second storey of the building</li> <li>B. does not protrude beyond the outer limits of any verandah structure below</li> <li>C. does not have a sign face that exceeds 1m<sup>2</sup> per side.</li> </ul> </li> </ul> </li> <li>(d) if located below canopy level, are flush with a wall</li> <li>(e) if located at canopy level, are in the form of a fascia sign</li> <li>(f) if located above a canopy: <ul style="list-style-type: none"> <li>(i) are flush with a wall</li> </ul> </li> </ul>

	<ul style="list-style-type: none"> <li>(ii) do not have any part rising above parapet height</li> <li>(iii) are not attached to the roof of the building.</li> </ul> <ul style="list-style-type: none"> <li>(g) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure</li> <li>(h) if attached to a two-storey building, have no part located above the finished floor level of the second storey of the building</li> <li>(i) where they are flush with a wall, do not, in combination with any other existing sign, cover more than 15% of the building facade to which they are attached.</li> </ul>
<p>PO 1.2</p> <p>Advertising hoardings do not disfigure the appearance of the land upon which they are situated or the character of the locality.</p>	<p>DTS/DPF 1.2</p> <p>Where development comprises an advertising hoarding, the supporting structure is:</p> <ul style="list-style-type: none"> <li>(a) concealed by the associated advertisement and decorative detailing or</li> <li>(b) not visible from an adjacent public street or thoroughfare, other than a support structure in the form of a single or dual post design.</li> </ul>
<p>PO 1.3</p> <p>Advertising does not encroach on public land or the land of an adjacent allotment.</p>	<p>DTS/DPF 1.3</p> <p>Advertisements and/or advertising hoardings are contained within the boundaries of the site.</p>
<p>PO 1.4</p> <p>Where possible, advertisements on public land are integrated with existing structures and infrastructure.</p>	<p>DTS/DPF 1.4</p> <p>Advertisements on public land that meet at least one of the following:</p> <ul style="list-style-type: none"> <li>(a) achieves Advertisements DTS/DPF 1.1</li> <li>(b) are integrated with a bus shelter.</li> </ul>
<p>PO 1.5</p> <p>Advertisements and/or advertising hoardings are of a scale and size appropriate to the character of the locality.</p>	<p>DTS/DPF 1.5</p> <p>None are applicable.</p>
Proliferation of Advertisements	
<p>PO 2.1</p> <p>Proliferation of advertisements is minimised to avoid visual clutter and untidiness.</p>	<p>DTS/DPF 2.1</p> <p>No more than one freestanding advertisement is displayed per occupancy.</p>
<p>PO 2.2</p> <p>Multiple business or activity advertisements are co-located and coordinated to avoid visual clutter and untidiness.</p>	<p>DTS/DPF 2.2</p> <p>Advertising of a multiple business or activity complex is located on a single advertisement fixture or structure.</p>
<p>PO 2.3</p> <p>Proliferation of advertisements attached to buildings is minimised to avoid visual clutter and untidiness.</p>	<p>DTS/DPF 2.3</p> <p>Advertisements satisfy all of the following:</p> <ul style="list-style-type: none"> <li>(a) are attached to a building</li> <li>(b) other than in a Neighbourhood-type zone, where they are flush with a wall, cover no more than 15% of the building facade to which they are attached</li> <li>(c) do not result in more than one sign per occupancy that is not flush with a wall.</li> </ul>
Advertising Content	
<p>PO 3.1</p> <p>Advertisements are limited to information relating to the lawful use of land they are located on to assist in the ready identification of the activity or activities on the land and avoid unrelated content that contributes to visual clutter and untidiness.</p>	<p>DTS/DPF 3.1</p> <p>Advertisements contain information limited to a lawful existing or proposed activity or activities on the same site as the advertisement.</p>

Amenity Impacts	
PO 4.1 Light spill from advertisement illumination does not unreasonably compromise the amenity of sensitive receivers.	DTS/DPF 4.1 Advertisements do not incorporate any illumination.
Safety	
PO 5.1 Advertisements and/or advertising hoardings erected on a verandah or projecting from a building wall are designed and located to allow for safe and convenient pedestrian access.	DTS/DPF 5.1 Advertisements have a minimum clearance of 2.5m between the top of the footpath and base of the underside of the sign.
PO 5.2 Advertisements and/or advertising hoardings do not distract or create a hazard to drivers through excessive illumination.	DTS/DPF 5.2 No advertisement illumination is proposed.
PO 5.3 Advertisements and/or advertising hoardings do not create a hazard to drivers by: <ul style="list-style-type: none"> <li>(a) being liable to interpretation by drivers as an official traffic sign or signal</li> <li>(b) obscuring or impairing drivers' view of official traffic signs or signals</li> <li>(c) obscuring or impairing drivers' view of features of a road that are potentially hazardous (such as junctions, bends, changes in width and traffic control devices) or other road or rail vehicles at/or approaching level crossings.</li> </ul>	DTS/DPF 5.3 Advertisements satisfy all of the following: <ul style="list-style-type: none"> <li>(a) are not located in a public road or rail reserve</li> <li>(b) are located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram</li> </ul> 
PO 5.4 Advertisements and/or advertising hoardings do not create a hazard by distracting drivers from the primary driving task at a location where the demands on driver concentration are high.	DTS/DPF 5.4 Advertisements and/or advertising hoardings are not located along or adjacent to a road having a speed limit of 80km/h or more.
PO 5.5 Advertisements and/or advertising hoardings provide sufficient clearance from the road carriageway to allow for safe and convenient movement by all road users.	DTS/DPF 5.5 Where the advertisement or advertising hoarding is: <ul style="list-style-type: none"> <li>(a) on a kerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 0.6m from the roadside edge of the kerb</li> <li>(b) on an unkerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 5.5m from the edge of the seal</li> <li>(c) on any other kerbed or unkerbed road, the advertisement or advertising hoarding is located a minimum of the following distance from the roadside edge of the kerb or the seal: <ul style="list-style-type: none"> <li>(a) 110 km/h road - 14m</li> <li>(b) 100 km/h road - 13m</li> <li>(c) 90 km/h road - 10m</li> <li>(d) 70 or 80 km/h road - 8.5m.</li> </ul> </li> </ul>
PO 5.6 Advertising near signalised intersections does not cause unreasonable distraction to road users through illumination, flashing lights, or moving or changing displays or messages.	DTS/DPF 5.6 Advertising: <ul style="list-style-type: none"> <li>(a) is not illuminated</li> <li>(b) does not incorporate a moving or changing display or message</li> <li>(c) does not incorporate a flashing light(s).</li> </ul>

## Animal Keeping and Horse Keeping

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Animals are kept at a density that is not beyond the carrying capacity of the land and in a manner that minimises their adverse effects on the environment, local amenity and surrounding development.

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
PO 1.1 Animal keeping, horse keeping and associated activities do not create adverse impacts on the environment or the amenity of the locality.	DTS/DPF 1.1 None are applicable.
PO 1.2 Animal keeping and horse keeping is located and managed to minimise the potential transmission of disease to other operations where animals are kept.	DTS/DPF 1.2 None are applicable.
Horse Keeping	
PO 2.1 Water from stable wash-down areas is directed to appropriate absorption areas and/or drainage pits to minimise pollution of land and water.	DTS/DPF 2.1 None are applicable.
PO 2.2 Stables, horse shelters or associated yards are sited appropriate distances away from sensitive receivers and/or allotments in other ownership to avoid adverse impacts from dust, erosion and odour.	DTS/DPF 2.2 Stables, horse shelters and associated yards are sited in accordance with all of the following:  (a) 30m or more from any sensitive receivers (existing or approved) on land in other ownership (b) where an adjacent allotment is vacant and in other ownership, 30m or more from the boundary of that allotment.
PO 2.3 All areas accessible to horses are separated from septic tank effluent disposal areas to protect the integrity of that system. Stable flooring is constructed with an impervious material to facilitate regular cleaning.	DTS/DPF 2.3 Septic tank effluent disposal areas are enclosed with a horse-proof barrier such as a fence to exclude horses from this area.
PO 2.4 To minimise environmental harm and adverse impacts on water resources, stables, horse shelters and associated yards are appropriately set back from a watercourse.	DTS/DPF 2.4 Stables, horse shelters and associated yards are set back 50m or more from a watercourse.
PO 2.5 Stables, horse shelters and associated yards are located on slopes that are stable to minimise the risk of soil erosion and water runoff.	DTS/DPF 2.5 Stables, horse shelters and associated yards are not located on land with a slope greater than 10% (1-in-10).

Kennels	
PO 3.1 Kennel flooring is constructed with an impervious material to facilitate regular cleaning.	DTS/DPF 3.1 The floors of kennels satisfy all of the following:  (a) are constructed of impervious concrete (b) are designed to be self-draining when washed down.
PO 3.2 Kennels and exercise yards are designed and sited to minimise noise nuisance to neighbours through measures such as:  (a) adopting appropriate separation distances (b) orientating openings away from sensitive receivers.	DTS/DPF 3.2 Kennels are sited 500m or more from the nearest sensitive receiver on land in other ownership.
PO 3.3 Dogs are regularly observed and managed to minimise nuisance impact on adjoining sensitive receivers from animal behaviour.	DTS/DPF 3.3 Kennels are sited in association with a permanent dwelling on the land.
Wastes	
PO 4.1 Storage of manure, used litter and other wastes (other than wastewater lagoons) is designed, constructed and managed to minimise attracting and harbouring vermin.	DTS/DPF 4.1 None are applicable.
PO 4.2 Facilities for the storage of manure, used litter and other wastes (other than wastewater lagoons) are located to minimise the potential for polluting water resources.	DTS/DPF 4.2 Waste storage facilities (other than wastewater lagoons) are located outside the 1% AEP flood event areas.

## Aquaculture

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Aquaculture facilities are developed in an ecologically, economically and socially sustainable manner to support an equitable sharing of marine, coastal and inland resources and mitigate conflict with other water-based and land-based uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land-based Aquaculture	
PO 1.1 Land-based aquaculture and associated components are sited and designed to mitigate adverse impacts on nearby sensitive receivers.	DTS/DPF 1.1 Land-based aquaculture and associated components are located to satisfy all of the following:  (a) 200m or more from a sensitive receiver in other ownership (b) 500m or more from the boundary of a zone primarily intended to accommodate sensitive receivers

	<p>or</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.2</p> <p>Land-based aquaculture and associated components are sited and designed to prevent surface flows from entering ponds in a 1% AEP sea flood level event.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Land-based aquaculture and associated components are sited and designed to prevent pond leakage that would pollute groundwater.</p>	<p>DTS/DPF 1.3</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.4</p> <p>Land-based aquaculture and associated components are sited and designed to prevent farmed species escaping and entering into any waters.</p>	<p>DTS/DPF 1.4</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.5</p> <p>Land-based aquaculture and associated components, including intake and discharge pipes, are designed to minimise the need to traverse sensitive areas to minimise impact on the natural environment.</p>	<p>DTS/DPF 1.5</p> <p>None are applicable.</p>
<p>PO 1.6</p> <p>Pipe inlets and outlets associated with land-based aquaculture are sited and designed to minimise the risk of disease transmission.</p>	<p>DTS/DPF 1.6</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.7</p> <p>Storage areas associated with aquaculture activity are integrated with the use of the land and sited and designed to minimise their visual impact on the surrounding environment.</p>	<p>DTS/DPF 1.7</p> <p>None are applicable.</p>
Marine Based Aquaculture	
<p>PO 2.1</p> <p>Marine aquaculture is sited and designed to minimise its adverse impacts on sensitive ecological areas including:</p> <ul style="list-style-type: none"> <li>(a) creeks and estuaries</li> <li>(b) wetlands</li> <li>(c) significant seagrass and mangrove communities</li> <li>(d) marine habitats and ecosystems.</li> </ul>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Marine aquaculture is sited in areas with adequate water current to disperse sediments and dissolve particulate wastes to prevent the build-up of waste that may cause environmental harm.</p>	<p>DTS/DPF 2.2</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 2.3</p> <p>Marine aquaculture is designed to not involve discharge of human waste on the site, on any adjacent land or into nearby waters.</p>	<p>DTS/DPF 2.3</p> <p>The development does not include toilet facilities located over water.</p>
<p>PO 2.4</p> <p>Marine aquaculture (other than inter-tidal aquaculture) is located an appropriate distance seaward of the high water mark.</p>	<p>DTS/DPF 2.4</p> <p>Marine aquaculture development is located 100m or more seaward of the high water mark</p> <p>or</p> <p>The development is the subject of an aquaculture lease and/or licence</p>

	(as applicable) granted under the <i>Aquaculture Act 2001</i> .
<p>PO 2.5</p> <p>Marine aquaculture is sited and designed to not obstruct or interfere with:</p> <ul style="list-style-type: none"> <li>(a) areas of high public use</li> <li>(b) areas, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports</li> <li>(c) areas of outstanding visual or environmental value</li> <li>(d) areas of high tourism value</li> <li>(e) areas of important regional or state economic activity, including commercial ports, wharfs and jetties</li> <li>(f) the operation of infrastructure facilities including inlet and outlet pipes associated with the desalination of sea water.</li> </ul>	<p>DTS/DPF 2.5</p> <p>None are applicable.</p>
<p>PO 2.6</p> <p>Marine aquaculture is sited and designed to minimise interference and obstruction to the natural processes of the coastal and marine environment.</p>	<p>DTS/DPF 2.6</p> <p>None are applicable.</p>
<p>PO 2.7</p> <p>Marine aquaculture is designed to be as unobtrusive as practicable by incorporating measures such as:</p> <ul style="list-style-type: none"> <li>(a) using feed hoppers painted in subdued colours and suspending them as close as possible to the surface of the water</li> <li>(b) positioning structures to protrude the minimum distance practicable above the surface of the water</li> <li>(c) avoiding the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons</li> <li>(d) positioning racks, floats and other farm structures in unobtrusive locations landward from the shoreline.</li> </ul>	<p>DTS/DPF 2.7</p> <p>None are applicable.</p>
<p>PO 2.8</p> <p>Access, launching and maintenance facilities utilise existing established roads, tracks, ramps and paths to or from the sea where possible to minimise environmental and amenity impacts.</p>	<p>DTS/DPF 2.8</p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p>PO 2.9</p> <p>Access, launching and maintenance facilities are developed as common user facilities and are co-located where practicable to mitigate adverse impacts on coastal areas.</p>	<p>DTS/DPF 2.9</p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p>PO 2.10</p> <p>Marine aquaculture is sited to minimise potential impacts on, and to protect the integrity of, reserves under the <i>National Parks and Wildlife Act 1972</i>.</p>	<p>DTS/DPF 2.10</p> <p>Marine aquaculture is located 1000m or more seaward of the boundary of any reserve under the <i>National Parks and Wildlife Act 1972</i>.</p>
<p>PO 2.11</p> <p>Onshore storage, cooling and processing facilities do not impair the coastline and its visual amenity by:</p> <ul style="list-style-type: none"> <li>(a) being sited, designed, landscaped and of a scale to reduce the overall bulk and appearance of buildings and complement the coastal landscape</li> <li>(b) making provision for appropriately sited and designed vehicular access arrangements, including using existing vehicular access arrangements as far as practicable</li> <li>(c) incorporating appropriate waste treatment and disposal.</li> </ul>	<p>DTS/DPF 2.11</p> <p>The development does not include any onshore facilities in conjunction with a proposal for marine aquaculture.</p>

Navigation and Safety	
PO 3.1 Marine aquaculture sites are suitably marked to maintain navigational safety.	DTS/DPF 3.1 The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
PO 3.2 Marine aquaculture is sited to provide adequate separation between farms for safe navigation.	DTS/DPF 3.2 The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
Environmental Management	
PO 4.1 Marine aquaculture is maintained to prevent hazards to people and wildlife, including breeding grounds and habitats of native marine mammals and terrestrial fauna, especially migratory species.	DTS/DPF 4.1 None are applicable.
PO 4.2 Marine aquaculture is designed to facilitate the relocation or removal of structures in the case of emergency such as oil spills, algal blooms and altered water flows.	DTS/DPF 4.2 None are applicable.
PO 4.3 Marine aquaculture provides for progressive or future reclamation of disturbed areas ahead of, or upon, decommissioning.	DTS/DPF 4.3 None are applicable.
PO 4.4 Aquaculture operations incorporate measures for the removal and disposal of litter, disused material, shells, debris, detritus, dead animals and animal waste to prevent pollution of waters, wetlands, or the nearby coastline.	DTS/DPF 4.4 The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .

## Beverage Production in Rural Areas

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Mitigation of potential amenity and environmental impacts of value-adding beverage production facilities such as wineries, distilleries, cideries and breweries.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Odour and Noise	
PO 1.1 Beverage production activities are designed and sited to minimise odour impacts on rural amenity.	DTS/DPF 1.1 None are applicable.

PO 1.2 Beverage production activities are designed and sited to minimise noise impacts on sensitive receivers.	DTS/DPF 1.2 None are applicable.
PO 1.3 Fermentation, distillation, manufacturing, storage, packaging and bottling activities occur within enclosed buildings to improve the visual appearance within a locality and manage noise associated with these activities.	DTS/DPF 1.3 None are applicable.
PO 1.4 Breweries are designed to minimise odours emitted during boiling and fermentation stages of production.	DTS/DPF 1.4 Brew kettles are fitted with a vapour condenser.
PO 1.5 Beverage production solid wastes are stored in a manner that minimises odour impacts on sensitive receivers in other ownership.	DTS/DPF 1.5 Solid waste from beverage production is collected and stored in sealed containers and removed from the site within 48 hours.
Water Quality	
PO 2.1 Beverage production wastewater management systems (including wastewater irrigation) are set back from watercourses to minimise adverse impacts on water resources.	DTS/DPF 2.1 Wastewater management systems are set back 50m or more from the banks of watercourses and bores.
PO 2.2 The storage or disposal of chemicals or hazardous substances is undertaken in a manner to prevent pollution of water resources.	DTS/DPF 2.2 None are applicable.
PO 2.3 Stormwater runoff from areas that may cause contamination due to beverage production activities (including vehicle movements and machinery operations) is drained to an onsite stormwater treatment system to manage potential environmental impacts.	DTS/DPF 2.3 None are applicable.
PO 2.4 Stormwater runoff from areas unlikely to cause contamination by beverage production and associated activities (such as roof catchments and clean hard-paved surfaces) is diverted away from beverage production areas and wastewater management systems.	DTS/DPF 2.4 None are applicable.
Wastewater Irrigation	
PO 3.1 Beverage production wastewater irrigation systems are designed and located to not contaminate soil and surface and ground water resources or damage crops.	DTS/DPF 3.1 None are applicable.
PO 3.2 Beverage production wastewater irrigation systems are designed and located to minimise impact on amenity and avoid spray drift onto adjoining land.	DTS/DPF 3.2 Beverage production wastewater is not irrigated within 50m of any dwelling in other ownership.
PO 3.3 Beverage production wastewater is not irrigated onto areas that pose an undue risk to the environment or amenity such as:  (a) waterlogged areas (b) land within 50m of a creek, swamp or domestic or stock water bore	DTS/DPF 3.3 None are applicable.

(c) land subject to flooding (d) steeply sloping land (e) rocky or highly permeable soil overlaying an unconfined aquifer.	
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## Bulk Handling and Storage Facilities

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Facilities for the bulk handling and storage of agricultural, mineral, petroleum, rock, ore or other similar commodities are designed to minimise adverse impacts on transport networks, the landscape and surrounding land uses.

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
PO 1.1  Bulk handling and storage facilities are sited and designed to minimise risks of adverse air quality and noise impacts on sensitive receivers.	DTS/DPF 1.1  Facilities for the handling, storage and dispatch of commodities in bulk (excluding processing) meet the following minimum separation distances from sensitive receivers: <ul style="list-style-type: none"> <li>(a) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals), where the handling of these materials into or from vessels does not exceed 100 tonnes per day: 300m or more from residential premises not associated with the facility</li> <li>(b) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility: 300m or more from residential premises not associated with the facility</li> <li>(c) bulk petroleum storage involving individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1,000 cubic metres: 500m or more</li> <li>(d) coal handling with: <ul style="list-style-type: none"> <li>a. capacity up to 1 tonne per day or a storage capacity up to 50 tonnes: 500m or more</li> <li>b. capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes: 1000m or more.</li> </ul> </li> </ul>
Buffers and Landscaping	
PO 2.1  Bulk handling and storage facilities incorporate a buffer area for the establishment of dense landscaping adjacent road frontages to enhance the appearance of land and buildings from public thoroughfares.	DTS/DPF 2.1  None are applicable.
PO 2.2	DTS/DPF 2.2

Bulk handling and storage facilities incorporate landscaping to assist with screening and dust filtration.	None are applicable.
Access and Parking	
PO 3.1 Roadways and vehicle parking areas associated with bulk handling and storage facilities are designed and surfaced to control dust emissions and prevent drag out of material from the site.	DTS/DPF 3.1 Roadways and vehicle parking areas are sealed with an all-weather surface.
Slipways, Wharves and Pontoons	
PO 4.1 Slipways, wharves and pontoons used for the handling of bulk materials (such as fuel, oil, catch, bait and the like) incorporate catchment devices to avoid the release of materials into adjacent waters.	DTS/DPF 4.1 None are applicable.

## Clearance from Overhead Powerlines

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied:  (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i>  (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

## Design

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is:

	<ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1 None are applicable.
PO 1.2 Where zero or minor setbacks are desirable, development provides shelter over footpaths ( <u>in the form of verandahs, awnings, canopies and the like, with adequate lighting</u> ) to positively contribute to the walkability, comfort and safety of the public realm.	DTS/DPF 1.2 None are applicable.
PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Plant, exhaust and intake vents and other technical equipment is integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <ul style="list-style-type: none"> <li>(a) positioning plant and equipment in unobtrusive locations viewed from public roads and spaces</li> <li>(b) screening rooftop plant and equipment from view</li> <li>(c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.</li> </ul>	DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline.
PO 1.5 The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form) taking into account the form of development contemplated in the relevant zone.	DTS/DPF 1.5 None are applicable.
Safety	
PO 2.1 Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is designed to differentiate public, communal and private areas.	DTS/DPF 2.2 None are applicable.

PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.	DTS/DPF 2.4 None are applicable.
PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings), and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.	DTS/DPF 2.5 None are applicable.
Landscaping	
PO 3.1 Soft landscaping and tree planting is incorporated to:  (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes (e) contribute to biodiversity.	DTS/DPF 3.1 None are applicable.
PO 3.2 Soft landscaping and tree planting maximises the use of locally indigenous plant species, incorporates plant species best suited to current and future climate conditions and avoids pest plant and weed species.	DTS/DPF 3.2 None are applicable.
Environmental Performance	
PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.	DTS/DPF 4.1 None are applicable.
PO 4.2 Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.	DTS/DPF 4.2 None are applicable.
PO 4.3 Buildings incorporate climate-responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.	DTS/DPF 4.3 None are applicable.
Water Sensitive Design	
PO 5.1 Development is sited and designed to maintain natural hydrological systems without negatively impacting:  (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs.	DTS/DPF 5.1 None are applicable.
On-site Waste Treatment Systems	

PO 6.1	DTS/DPF 6.1
Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	<p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Carparking Appearance	
PO 7.1	DTS/DPF 7.1
Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on the streetscapes through techniques such as:	None are applicable.
<ul style="list-style-type: none"> <li>(a) limiting protrusion above finished ground level</li> <li>(b) screening through appropriate planting, fencing and mounding</li> <li>(c) limiting the width of openings and integrating them into the building structure.</li> </ul>	
PO 7.2	DTS/DPF 7.2
Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.	None are applicable.
PO 7.3	DTS/DPF 7.3
Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.	None are applicable.
PO 7.4	DTS/DPF 7.4
Street level vehicle parking areas incorporate tree planting to provide shade and reduce solar heat absorption and reflection.	None are applicable.
PO 7.5	DTS/DPF 7.5
Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.	None are applicable.
PO 7.6	DTS/DPF 7.6
Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.	None are applicable.
PO 7.7	DTS/DPF 7.7
Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.	None are applicable.
Earthworks and sloping land	
PO 8.1	DTS/DPF 8.1
Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	<p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> </ul>

	(c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2 Driveways and access tracks are designed and constructed to allow safe and convenient access on sloping land (with a gradient exceeding 1 in 8).	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):  (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):  (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslip nor increases the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Fences and Walls	
PO 9.1 Fences, walls and retaining walls are of sufficient height to maintain privacy and security without unreasonably impacting the visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping incorporated on the low side of retaining walls is visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
Overlooking / Visual Privacy (in building 3 storeys or less)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential allotment/site satisfy one of the following:  (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm  (b) have sill heights greater than or equal to 1.5m above finished floor level  (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies, terraces and	DTS/DPF 10.2 One of the following is satisfied:

decks to habitable rooms and private open space of adjoining residential uses.	<ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
All Residential development	
Front elevations and passive surveillance	
<p>PO 11.1</p> <p>Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 11.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
<p>PO 11.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 11.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
Outlook and amenity	
<p>PO 12.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 12.1</p> <p>A living room of a dwelling incorporates a window with an outlook towards the street frontage or private open space, public open space, or waterfront areas.</p>
<p>PO 12.2</p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 12.2</p> <p>None are applicable.</p>
Ancillary Development	
<p>PO 13.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 13.1</p> <p>Ancillary buildings (excluding ancillary accommodation):</p> <ul style="list-style-type: none"> <li>(a) are ancillary to a dwelling erected on the same site</li> <li>(b) have a floor area not exceeding 60m<sup>2</sup></li> <li>(c) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> <li>(i) in front of any part of the building line of the dwelling to which it is ancillary or</li> <li>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> <li>(i) is set back at least 5.5m from the boundary of the primary street</li> <li>(ii) when facing a primary street or secondary street, has a total door / opening not exceeding: <ul style="list-style-type: none"> <li>A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser</li> </ul> </li> </ul> </li> </ul>

	<p>B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour</p> <p>(k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:</p> <ul style="list-style-type: none"> <li>(i) a total area as determined by the following table: <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>201-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> </li> <li>(ii) the amount of existing soft landscaping prior to the development occurring.</li> </ul>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p>PO 13.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision or car parking requirements and do not result in over-development of the site.</p>	<p>DTS/DPF 13.2</p> <p>Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> <li>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>										
<p>PO 13.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa is positioned and/or housed to not</p>	<p>DTS/DPF 13.3</p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p>										

cause unreasonable noise nuisance to adjacent sensitive receivers.	<p>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>						
<p>PO 13.4</p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p>DTS/DPF 13.4</p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p> <p>(b) have a floor area not exceeding the following:</p> <table border="1" data-bbox="906 539 1206 633"> <tr> <th>Allotment size</th><th>Floor area</th></tr> <tr> <td>≤500m<sup>2</sup></td><td>60m<sup>2</sup></td></tr> <tr> <td>&gt;500m<sup>2</sup></td><td>80m<sup>2</sup></td></tr> </table> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the main building to which it is ancillary or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <p>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</p> <p>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</p> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</p>	Allotment size	Floor area	≤500m <sup>2</sup>	60m <sup>2</sup>	>500m <sup>2</sup>	80m <sup>2</sup>
Allotment size	Floor area						
≤500m <sup>2</sup>	60m <sup>2</sup>						
>500m <sup>2</sup>	80m <sup>2</sup>						
<p>PO 13.5</p> <p>Ancillary accommodation:</p> <p>(a) is sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties</p> <p>(b) is integrated within the site of the dwelling to which it is ancillary and incorporates shared utilities and shared open space.</p>	<p>DTS/DPF 13.5</p> <p>Ancillary accommodation:</p> <p>(a) is ancillary to a dwelling erected on the same site</p> <p>(b) has a floor area not exceeding 70m<sup>2</sup></p> <p>(c) is not constructed, added to, or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the dwelling to which it is ancillary or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p>						

- (d) if situated on a boundary (not being a boundary with a primary street or secondary street), does not exceed a length of 11.5m unless:
- (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and
  - (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent
- (e) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary
- (f) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure
- (g) has a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)
- (h) has a roof height where no part of the roof is more than 5m above the natural ground level
- (i) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour
- (j) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:
- (i) a total area as determined by the following table:
- | Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> ) | Minimum percentage of site |
|--|----------------------------|
| <150   | 10%                        |
| 150-200  | 15%                        |
| 201-450  | 20%                        |
| >450   | 25%                        |
- (ii) the amount of existing soft landscaping prior to the development occurring.
- (k) does not have separate connection to utilities and services (such as electricity, gas, water, telecommunications, sewerage system, wastewater system or waste control system) to those servicing the existing dwelling
- (l) has unrestricted access to the private open space associated with the existing dwelling to which it is ancillary
- (m) in the case of the Rural Zone, Productive Rural Landscape Zone, or Rural Horticulture Zone, is located within 20m of an existing dwelling.

## Garage appearance

PO 14.1

Garaging is designed to not detract from the streetscape or appearance of a dwelling.

DTS/DPF 14.1

Garages and carports facing a street:

- (a) are situated so that no part of the garage or carport is in front of any part of the building line of the dwelling
- (b) are set back at least 5.5m from the boundary of the primary street
- (c) have a garage door / opening not exceeding 7m in width

	(d) have a garage door /opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
Massing	
PO 15.1  The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 15.1  None are applicable
Dwelling additions	
PO 16.1  Dwelling additions are sited and designed to not detract from the streetscape or amenity of adjoining properties and do not impede on-site functional requirements.	DTS / DPF 16.1  Dwelling additions:  (a) are not constructed, added to or altered so that any part is situated closer to a public street (b) do not result in: (i) excavation exceeding a vertical height of 1m (ii) filling exceeding a vertical height of 1m (iii) a total combined excavation and filling vertical height of 2m or more (iv) less Private Open Space than specified in Design Table 1 - Private Open Space (v) less on-site parking than specified in Transport Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas (vi) upper level windows facing side or rear boundaries unless: A. they are permanently obscured to a height of 1.5m above finished floor level that is fixed or not capable of being opened more than 200mm or B. have sill heights greater than or equal to 1.5m above finished floor level or C. incorporate screening to a height of 1.5m above finished floor level  (vii) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: A. 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land B. 1.7m above finished floor level in all other cases.
Private Open Space	
PO 17.1  Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 17.1  Private open space is provided in accordance with Design Table 1 - Private Open Space.
Water Sensitive Design	
PO 18.1  Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients,	DTS/DPF 18.1  Residential development creating a common driveway / access that services 5 or more dwellings achieves the following stormwater runoff outcomes:

bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	<ul style="list-style-type: none"> <li>(a) 80 per cent reduction in average annual total suspended solids</li> <li>(b) 60 per cent reduction in average annual total phosphorus</li> <li>(c) 45 per cent reduction in average annual total nitrogen.</li> </ul>
<p>PO 18.2</p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 18.2</p> <p>Development creating a common driveway / access that services 5 or more dwellings:</p> <ul style="list-style-type: none"> <li>(a) maintains the pre-development peak flow rate from the site based upon a 0.35 runoff coefficient for the 18.1% AEP 30-minute storm and the stormwater runoff time to peak is not increased or captures and retains the difference in pre-development runoff volume (based upon a 0.35 runoff coefficient) vs post development runoff volume from the site for an 18.1% AEP 30-minute storm; and</li> <li>(b) manages site generated stormwater runoff up to and including the 1% AEP flood event to avoid flooding of buildings.</li> </ul>
Car parking, access and manoeuvrability	
<p>PO 19.1</p> <p>Enclosed parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p>PO 19.2</p> <p>Uncovered parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m</li> </ul>
<p>PO 19.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 19.3</p> <p>Driveways and access points on sites with a frontage to a public road of 10m or less have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site.</p>
<p>PO 19.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 19.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed: <ul style="list-style-type: none"> <li>(i) is set back 6m or more from the tangent point of an intersection of 2 or more roads</li> </ul> </li> </ul>

	<ul style="list-style-type: none"> <li>(ii) is set back outside of the marked lines or infrastructure dedicating a pedestrian crossing</li> <li>(iii) does not involve the removal, relocation or damage to of mature street trees, street furniture or utility infrastructure services.</li> </ul>
<p>PO 19.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 19.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</li> </ul> <div style="text-align: center;"> <p>Diagram illustrating the required angle for a driveway centerline relative to the street boundary. The driveway centerline must be between 70° and 110° off the street boundary. The diagram shows a horizontal line for the 'STREET BOUNDARY' and a shaded area below for the 'ROAD'. A vertical dashed line indicates the 'CENTRE LINE OF DRIVEWAY TO BE BETWEEN 70° TO 110° OFF THE STREET BOUNDARY'. Two dashed lines branch from the street boundary at angles of 70° and 110°. A curved arrow indicates the angle between the street boundary and the driveway centerline.</p> </div> <ul style="list-style-type: none"> <li>(c) if located to provide access from an alley, lane or right of way - the alley, land or right or way is at least 6.2m wide along the boundary of the allotment / site</li> </ul>
<p>PO 19.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 19.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
<p>PO 20.1</p> <p>Provision is made for the adequate and convenient storage of waste</p>	<p>DTS/DPF 20.1</p> <p>None are applicable.</p>

bins in a location screened from public view.											
Design of Transportable Dwellings											
PO 21.1 The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 21.1 Buildings satisfy (a) or (b):  (a) are not transportable or (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.										
Group dwelling, residential flat buildings and battle-axe development											
Amenity											
PO 22.1 Dwellings are of a suitable size to accommodate a layout that is well organised and provides a high standard of amenity for occupants.	DTS/DPF 22.1 Dwellings have a minimum internal floor area in accordance with the following table: <table border="1"> <thead> <tr> <th>Number of bedrooms</th><th>Minimum internal floor area</th></tr> </thead> <tbody> <tr> <td>Studio</td><td>35m<sup>2</sup></td></tr> <tr> <td>1 bedroom</td><td>50m<sup>2</sup></td></tr> <tr> <td>2 bedroom</td><td>65m<sup>2</sup></td></tr> <tr> <td>3+ bedrooms</td><td>80m<sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom</td></tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>	2 bedroom	65m <sup>2</sup>	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
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3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom										
PO 22.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 22.2 None are applicable.										
PO 22.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 22.3 None are applicable.										
PO 22.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 22.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.										
Communal Open Space											
PO 23.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 23.1 None are applicable.										
PO 23.2 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 23.2 Communal open space incorporates a minimum dimension of 5 metres.										
PO 23.3 Communal open space is designed and sited to:	DTS/DPF 23.3 None are applicable.										

<p>(a) be conveniently accessed by the dwellings which it services</p> <p>(b) have regard to acoustic, safety, security and wind effects.</p>	
<p>PO 23.4</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p>DTS/DPF 23.4</p> <p>None are applicable.</p>
<p>PO 23.5</p> <p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	<p>DTS/DPF 23.5</p> <p>None are applicable.</p>
Carparking, access and manoeuvrability	
<p>PO 24.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 24.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street car parks per proposed dwellings (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p>
<p>PO 24.2</p> <p>The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p>	<p>DTS/DPF 24.2</p> <p>Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p>
<p>PO 24.3</p> <p>Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 24.3</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <p>(a) have a minimum width of 3m</p> <p>(b) for driveways servicing more than 3 dwellings:</p> <p>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</p> <p>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</p>
<p>PO 24.4</p> <p>Residential driveways in a battle-axe configuration are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 24.4</p> <p>Where in a battle-axe configuration, a driveway servicing one dwelling has a minimum width of 3m.</p>
<p>PO 24.5</p> <p>Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 24.5</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p>
<p>PO 24.6</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p>	<p>DTS/DPF 24.6</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p>

Soft Landscaping	
PO 25.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 25.1 Other than where located directly in front of a garage or a building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 25.2 Soft landscaping is provided that improves the appearance of common driveways.	DTS/DPF 25.2 Where a common driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
PO 26.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 26.1 None are applicable.
PO 26.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 26.2 None are applicable.
PO 26.3 Provision is made for suitable household waste and recyclable material storage facilities which are:  (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	DTS/DPF 26.3 None are applicable.
PO 26.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 26.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 26.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 26.5 None are applicable.
PO 26.6 Services including gas and water meters are conveniently located and screened from public view.	DTS/DPF 26.6 None are applicable.
Supported accommodation and retirement facilities	
Siting and Configuration	
PO 27.1 Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.	DTS/DPF 27.1 None are applicable.
Movement and Access	
PO 28.1 Development is designed to support safe and convenient access and movement for residents by providing:  (a) ground-level access or lifted access to all units	DTS/DPF 28.1 None are applicable.

<p>(b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places</p> <p>(c) car parks with gradients no steeper than 1-in-40 and of sufficient area to provide for wheelchair manoeuvrability</p> <p>(d) kerb ramps at pedestrian crossing points.</p>	
Communal Open Space	
<p>PO 29.1</p> <p>Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.</p>	<p>DTS/DPF 29.1</p> <p>None are applicable.</p>
<p>PO 29.2</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p>DTS/DPF 29.2</p> <p>None are applicable.</p>
<p>PO 29.3</p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p>DTS/DPF 29.3</p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>
<p>PO 29.4</p> <p>Communal open space is designed and sited to:</p> <p>(a) be conveniently accessed by the dwellings which it services</p> <p>(b) have regard to acoustic, safety, security and wind effects.</p>	<p>DTS/DPF 29.4</p> <p>None are applicable.</p>
<p>PO 29.5</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p>DTS/DPF 29.5</p> <p>None are applicable.</p>
<p>PO 29.6</p> <p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	<p>DTS/DPF 29.6</p> <p>None are applicable.</p>
Site Facilities / Waste Storage	
<p>PO 30.1</p> <p>Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric powered vehicles.</p>	<p>DTS/DPF 30.1</p> <p>None are applicable.</p>
<p>PO 30.2</p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p>DTS/DPF 30.2</p> <p>None are applicable.</p>
<p>PO 30.3</p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p>DTS/DPF 30.3</p> <p>None are applicable.</p>
<p>PO 30.4</p> <p>Provision is made for suitable household waste and recyclable material storage facilities conveniently located and screened from public view.</p>	<p>DTS/DPF 30.4</p> <p>None are applicable.</p>

PO 30.5	DTS/DPF 30.5
Waste and recyclable material storage areas are located away from dwellings.	Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 30.6	DTS/DPF 30.6
Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.	None are applicable.
PO 30.7	DTS/DPF 30.7
Services including gas and water meters are conveniently located and screened from public view.	None are applicable.
All non-residential development	
Water Sensitive Design	
PO 31.1	DTS/DPF 31.1
Development likely to result in significant risk of export of litter, oil or grease includes stormwater management systems designed to minimise pollutants entering stormwater.	None are applicable.
PO 31.2	DTS/DPF 31.2
Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.	None are applicable.
Wash-down and Waste Loading and Unloading	
PO 32.1	DTS/DPF 32.1
<p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, vessels, plant or equipment are:</p> <ul style="list-style-type: none"> <li>(a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off</li> <li>(b) paved with an impervious material to facilitate wastewater collection</li> <li>(c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area</li> <li>(d) designed to drain wastewater to either: <ul style="list-style-type: none"> <li>(i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme</li> <li>or</li> <li>(ii) a holding tank and its subsequent removal off-site on a regular basis.</li> </ul> </li> </ul>	None are applicable.
Decks	
Design and Siting	
PO 33.1	DTS/DPF 33.1
Decks are designed and sited to:	Decks:
<ul style="list-style-type: none"> <li>(a) complement the associated building form</li> <li>(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)</li> <li>(c) minimise cut and fill and overall massing when viewed from adjacent land.</li> </ul>	<ul style="list-style-type: none"> <li>(a) where ancillary to a dwelling: <ul style="list-style-type: none"> <li>(i) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> <li>A. in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> </ul> </li> </ul>

	<p>(ii) are set back at least 900mm from side or rear allotment boundaries</p> <p>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</p> <p>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less:</p> <p>A. a total area is determined by the following table:</p> <table> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> <p>B. the amount of existing soft landscaping prior to the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <p>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</p> <p>(ii) are set back at least 2 metres from a public road.</p> <p>(iii) have a floor area not exceeding 25m<sup>2</sup></p> <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p>PO 33.2</p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p>DTS/DPF 33.2</p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>										
<p>PO 33.3</p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p>DTS/DPF 33.3</p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										

Table 1 - Private Open Space

Dwelling Type	Minimum Rate
Dwelling (at ground level)	<p>Total private open space area:</p> <p>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</p>

	<p>(b) Site area <math>\geq 301\text{m}^2</math>: <math>60\text{m}^2</math> located behind the building line.</p> <p>Minimum directly accessible from a living room: <math>16\text{m}^2</math> / with a minimum dimension 3m.</p>
Dwelling (above ground level)	<p>Studio (no separate bedroom): <math>4\text{m}^2</math> with a minimum dimension 1.8m</p> <p>One bedroom: <math>8\text{m}^2</math> with a minimum dimension 2.1m</p> <p>Two bedroom dwelling: <math>11\text{m}^2</math> with a minimum dimension 2.4m</p> <p>Three + bedroom dwelling: <math>15\text{m}^2</math> with a minimum dimension 2.6m</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or a caravan and tourist park	Total area: $16\text{m}^2$ , which may be used as second car parking space, provided on each site intended for residential occupation.

## Design in Urban Areas

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1 None are applicable.
PO 1.2 Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.	DTS/DPF 1.2 None are applicable.

PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by:  (a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.	DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline.
PO 1.5 The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone.	DTS/DPF 1.5 None are applicable.
Safety	
PO 2.1 Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is designed to differentiate public, communal and private areas.	DTS/DPF 2.2 None are applicable.
PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.	DTS/DPF 2.4 None are applicable.
PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.	DTS/DPF 2.5 None are applicable.
Landscaping	
PO 3.1 Soft landscaping and tree planting are incorporated to:  (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes.	DTS/DPF 3.1 None are applicable.
Environmental Performance	

PO 4.1	DTS/DPF 4.1
Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.	None are applicable.
PO 4.2	DTS/DPF 4.2
Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.	None are applicable.
PO 4.3	DTS/DPF 4.3
Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.	None are applicable.
Water Sensitive Design	
PO 5.1	DTS/DPF 5.1
Development is sited and designed to maintain natural hydrological systems without negatively impacting:	None are applicable.
<ul style="list-style-type: none"> <li>(a) the quantity and quality of surface water and groundwater</li> <li>(b) the depth and directional flow of surface water and groundwater</li> <li>(c) the quality and function of natural springs.</li> </ul>	
On-site Waste Treatment Systems	
PO 6.1	DTS/DPF 6.1
Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	Effluent disposal drainage areas do not: <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Car parking appearance	
PO 7.1	DTS/DPF 7.1
Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:	None are applicable.
<ul style="list-style-type: none"> <li>(a) limiting protrusion above finished ground level</li> <li>(b) screening through appropriate planting, fencing and mounding</li> <li>(c) limiting the width of openings and integrating them into the building structure.</li> </ul>	
PO 7.2	DTS/DPF 7.2
Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.	None are applicable.
PO 7.3	DTS/DPF 7.3
Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.	None are applicable.
PO 7.4	DTS/DPF 7.4

Street-level vehicle parking areas incorporate tree planting to provide shade, reduce solar heat absorption and reflection.	Vehicle parking areas that are open to the sky and comprise 10 or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m.
PO 7.5  Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.	DTS/DPF 7.5  Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of:  (a) 1m along all public road frontages and allotment boundaries (b) 1m between double rows of car parking spaces.
PO 7.6  Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.	DTS/DPF 7.6  None are applicable.
PO 7.7  Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.	DTS/DPF 7.7  None are applicable.
Earthworks and sloping land	
PO 8.1  Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1  Development does not involve any of the following:  (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2  Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2  Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):  (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
PO 8.3  Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):  (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	DTS/DPF 8.3  None are applicable.
PO 8.4  Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4  None are applicable.
PO 8.5  Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5  None are applicable.
Fences and walls	

PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
Site Facilities / Waste Storage (excluding low rise residential development)	
PO 11.1 Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.	DTS/DPF 11.1 None are applicable.
PO 11.2 Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	DTS/DPF 11.2 None are applicable.
PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	DTS/DPF 11.3 None are applicable.
PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	DTS/DPF 11.4 None are applicable.
PO 11.5 For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	DTS/DPF 11.5 None are applicable.
All Development - Medium and High Rise	

External Appearance	
PO 12.1 Buildings positively contribute to the character of the local area by responding to local context.	DTS/DPF 12.1 None are applicable.
PO 12.2 Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	DTS/DPF 12.2 None are applicable.
PO 12.3 Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	DTS/DPF 12.3 None are applicable.
PO 12.4 Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.	DTS/DPF 12.4 None are applicable.
PO 12.5 External materials and finishes are durable and age well to minimise ongoing maintenance requirements.	DTS/DPF 12.5 Buildings utilise a combination of the following external materials and finishes:  (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.
PO 12.6 Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	DTS/DPF 12.6 Building street frontages incorporate:  (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.
PO 12.7 Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.	DTS/DPF 12.7 Entrances to multi-storey buildings are:  (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses (d) designed to provide shelter, a sense of personal address and transitional space around the entry (e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors (f) designed to avoid the creation of potential areas of entrapment.
PO 12.8 Building services, plant and mechanical equipment are screened from the public realm.	DTS/DPF 12.8 None are applicable.
Landscaping	
PO 13.1 Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size	DTS/DPF 13.1 Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building

adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.	setback from front property boundaries is desired.			
PO 13.2  Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.	DTS/DPF 13.2  Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.			
	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones
	<300 m <sup>2</sup>	10 m <sup>2</sup>	1.5m	1 small tree / 10 m <sup>2</sup>
	300-1500 m <sup>2</sup>	7% site area	3m	1 medium tree / 30 m <sup>2</sup>
	>1500 m <sup>2</sup>	7% site area	6m	1 large or medium tree / 60 m <sup>2</sup>
	Tree size and site area definitions			
	Small tree	4-6m mature height and 2-4m canopy spread		
	Medium tree	6-12m mature height and 4-8m canopy spread		
	Large tree	12m mature height and >8m canopy spread		
	Site area	The total area for development site, not average area per dwelling		
PO 13.3  Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	DTS/DPF 13.3  None are applicable.			
PO 13.4  Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	DTS/DPF 13.4  Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.			
Environmental				
PO 14.1  Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	DTS/DPF 14.1  None are applicable.			
PO 14.2  Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	DTS/DPF 14.2  None are applicable.			
PO 14.3	DTS/DPF 14.3			

Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:	None are applicable.
Car Parking	
PO 15.1 Multi-level vehicle parking structures are designed to contribute to active street frontages and complement neighbouring buildings.	DTS/DPF 15.1 Multi-level vehicle parking structures within buildings:  (a) provide land uses such as commercial, retail or other non-car parking uses along ground floor street frontages (b) incorporate facade treatments in building elevations facing along major street frontages that are sufficiently enclosed and detailed to complement adjacent buildings.
PO 15.2 Multi-level vehicle parking structures within buildings complement the surrounding built form in terms of height, massing and scale.	DTS/DPF 15.2 None are applicable.
Overlooking/Visual Privacy	
PO 16.1 Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as:  (a) appropriate site layout and building orientation (b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight (c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms (d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.	DTS/DPF 16.1 None are applicable.
All residential development	
Front elevations and passive surveillance	
PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	DTS/DPF 17.1 Each dwelling with a frontage to a public street:  (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m <sup>2</sup> facing the primary street.
PO 17.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	DTS/DPF 17.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.
Outlook and Amenity	

PO 18.1  Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1  A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
PO 18.2  Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	DTS/DPF 18.2  None are applicable.
Ancillary Development	
PO 19.1  Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties.	DTS/DPF 19.1  Ancillary buildings (excluding ancillary accommodation): (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m <sup>2</sup> (c) are not constructed, added to or altered so that any part is situated: (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour (k) retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (i) or (ii), whichever is less: (i) a total area as determined by the following table:

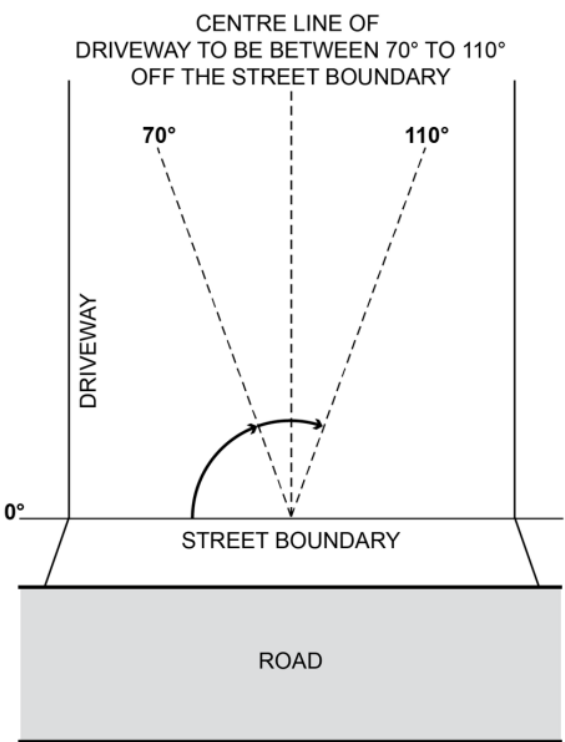
	<table> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p>PO 19.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 19.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p>PO 19.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p>DTS/DPF 19.3</p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <p>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>										
<p>PO 19.4</p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p>DTS/DPF 19.4</p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p> <p>(b) have a floor area not exceeding the following:</p> <table> <tr> <th>Allotment size</th><th>Floor area</th></tr> <tr> <td>≤500m<sup>2</sup></td><td>60m<sup>2</sup></td></tr> <tr> <td>&gt;500m<sup>2</sup></td><td>80m<sup>2</sup></td></tr> </table> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the main building to which it is ancillary or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p>	Allotment size	Floor area	≤500m <sup>2</sup>	60m <sup>2</sup>	>500m <sup>2</sup>	80m <sup>2</sup>				
Allotment size	Floor area										
≤500m <sup>2</sup>	60m <sup>2</sup>										
>500m <sup>2</sup>	80m <sup>2</sup>										

	<ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</p>				
<p>PO 19.5</p> <p>Ancillary accommodation:</p> <ul style="list-style-type: none"> <li>(a) is sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties</li> <li>(b) is integrated within the site of the dwelling to which it is ancillary and incorporates shared utilities and shared open space.</li> </ul>	<p>DTS/DPF 19.5</p> <p>Ancillary accommodation:</p> <ul style="list-style-type: none"> <li>(a) is ancillary to a dwelling erected on the same site</li> <li>(b) has a floor area not exceeding 70m<sup>2</sup></li> <li>(c) is not constructed, added to, or altered so that any part is situated: <ul style="list-style-type: none"> <li>(i) in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(d) if situated on a boundary (not being a boundary with a primary street or secondary street), does not exceed a length of 11.5m unless: <ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> </li> <li>(e) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</li> <li>(f) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</li> <li>(g) has a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)</li> <li>(h) has a roof height where no part of the roof is more than 5m above the natural ground level</li> <li>(i) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour</li> <li>(j) retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (i) or (ii), whichever is less: <ul style="list-style-type: none"> <li>(i) a total area as determined by the following table:</li> </ul> <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td></td><td></td></tr> </tbody> </table> </li> </ul>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site	Minimum percentage of site		
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site	Minimum percentage of site				

		area) (m <sup>2</sup> )	
		<150	10%
		150-200	15%
		>200-450	20%
		>450	25%
	(ii)	the amount of existing soft landscaping prior to the development occurring.	
	(k)	does not have separate connection to utilities and services (such as electricity, gas, water, telecommunications, sewerage system, wastewater system or waste control system) to those servicing the existing dwelling	
	(l)	has unrestricted access to the private open space associated with the existing dwelling to which it is ancillary	
	(m)	in the case of the Rural Zone, Productive Rural Landscape Zone, or Rural Horticulture Zone, is located within 20m of an existing dwelling.	
Residential Development - Low Rise			
External appearance			
PO 20.1	DTS/DPF 20.1		
Garaging is designed to not detract from the streetscape or appearance of a dwelling.	Garages and carports facing a street:		
	(a)	are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling	
	(b)	are set back at least 5.5m from the boundary of the primary street	
	(c)	have a garage door / opening width not exceeding 7m	
	(d)	have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.	
PO 20.2	DTS/DPF 20.2		
Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.	Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:		
	(a)	a minimum of 30% of the building wall is set back an additional 300mm from the building line	
	(b)	a porch or portico projects at least 1m from the building wall	
	(c)	a balcony projects from the building wall	
	(d)	a verandah projects at least 1m from the building wall	
	(e)	eaves of a minimum 400mm width extend along the width of the front elevation	
	(f)	a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm	
	(g)	a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.	

PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 20.3 None are applicable										
Private Open Space											
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.										
Landscaping											
PO 22.1 Soft landscaping is incorporated into development to:  (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.	DTS/DPF 22.1 Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):  (a) a total area for the entire development site, including any common property, as determined by the following table: <table border="1"> <thead> <tr> <th>Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> (b) at least 30% of any land between the primary street boundary and the primary building line.	Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):  (a) single width car parking spaces: (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m  (b) double width car parking spaces (side by side): (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.										
PO 23.2 Uncovered car parking space are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.2 Uncovered car parking spaces have:  (a) a minimum length of 5.4m (b) a minimum width of 2.4m										

	(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul> </li> </ul>
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> </ul>

	<p>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</p>  <p>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.</p>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>
Design of Transportable Buildings	
<p>PO 25.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give</p>	<p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p>

the appearance of a permanent structure.	<ul style="list-style-type: none"> <li>(a) are not transportable</li> <li>(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</li> </ul>
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
PO 26.1  Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.	DTS/DPF 26.1  Buildings: <ul style="list-style-type: none"> <li>(a) provide a habitable room at ground or first level with a window facing toward the street</li> <li>(b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.</li> </ul>
PO 26.2  The visual privacy of ground level dwellings within multi-level buildings is protected.	DTS/DPF 26.2  The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.
Private Open Space	
PO 27.1  Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 27.1  Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
Residential amenity in multi-level buildings	
PO 28.1  Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.	DTS/DPF 28.1  Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.
PO 28.2  Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to: <ul style="list-style-type: none"> <li>(a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy</li> <li>(b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.</li> </ul>	DTS/DPF 28.2  Balconies utilise one or a combination of the following design elements: <ul style="list-style-type: none"> <li>(a) sun screens</li> <li>(b) pergolas</li> <li>(c) louvres</li> <li>(d) green facades</li> <li>(e) openable walls.</li> </ul>
PO 28.3  Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.	DTS/DPF 28.3  Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.
PO 28.4  Dwellings are provided with sufficient space for storage to meet likely occupant needs.	DTS/DPF 28.4  Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling: <ul style="list-style-type: none"> <li>(a) studio: not less than 6m<sup>3</sup></li> <li>(b) 1 bedroom dwelling / apartment: not less than 8m<sup>3</sup></li> <li>(c) 2 bedroom dwelling / apartment: not less than 10m<sup>3</sup></li> <li>(d) 3+ bedroom dwelling / apartment: not less than 12m<sup>3</sup>.</li> </ul>
PO 28.5	DTS/DPF 28.5

Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.	Light wells: <ul style="list-style-type: none"> <li>(a) are not used as the primary source of outlook for living rooms</li> <li>(b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms</li> <li>(c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.</li> </ul>						
PO 28.6 Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.	DTS/DPF 28.6 None are applicable.						
PO 28.7 Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.	DTS/DPF 28.7 None are applicable.						
Dwelling Configuration							
PO 29.1 Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.	DTS/DPF 29.1 Buildings containing in excess of 10 dwellings provide at least one of each of the following: <ul style="list-style-type: none"> <li>(a) studio (where there is no separate bedroom)</li> <li>(b) 1 bedroom dwelling / apartment with a floor area of at least 50m<sup>2</sup></li> <li>(c) 2 bedroom dwelling / apartment with a floor area of at least 65m<sup>2</sup></li> <li>(d) 3+ bedroom dwelling / apartment with a floor area of at least 80m<sup>2</sup>, and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom.</li> </ul>						
PO 29.2 Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.	DTS/DPF 29.2 None are applicable.						
Common Areas							
PO 30.1 The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.	DTS/DPF 30.1 Common corridor or circulation areas: <ul style="list-style-type: none"> <li>(a) have a minimum ceiling height of 2.7m</li> <li>(b) provide access to no more than 8 dwellings</li> <li>(c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.</li> </ul>						
Co-located Housing, Group Dwellings, Residential Flat Buildings and Battle axe Development							
Amenity							
PO 31.1 Dwellings are of a suitable size to provide a high standard of amenity for occupants.	DTS/DPF 31.1 Dwellings have a minimum internal floor area in accordance with the following table: <table border="1"> <thead> <tr> <th>Number of bedrooms</th><th>Minimum internal floor area</th></tr> </thead> <tbody> <tr> <td>Studio</td><td>35m<sup>2</sup></td></tr> <tr> <td>1 bedroom</td><td>50m<sup>2</sup></td></tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>
Number of bedrooms	Minimum internal floor area						
Studio	35m <sup>2</sup>						
1 bedroom	50m <sup>2</sup>						

	2 bedroom	65m <sup>2</sup>
	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.	
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.	
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.	
Communal Open Space		
PO 32.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 32.1 None are applicable.	
PO 32.2 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 32.2 Communal open space incorporates a minimum dimension of 5 metres.	
PO 32.3 Communal open space is designed and sited to:  (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 32.3 None are applicable.	
PO 32.4 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 32.4 None are applicable.	
PO 32.5 Communal open space is designed and sited to:  (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.	DTS/DPF 32.5 None are applicable.	
Car parking, access and manoeuvrability		
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:  (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.	

PO 33.2  The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	DTS/DPF 33.2  Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
PO 33.3  Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	DTS/DPF 33.3  Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:  (a) have a minimum width of 3m (b) for driveways servicing more than 3 dwellings: (i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street (ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.
PO 33.4  Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 33.4  Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5  Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5  Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.1  Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 34.1  Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 34.2  Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2  Battle-axe or common driveways satisfy (a) and (b):  (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
DTS/DPF 35.1  None are applicable.	PO 35.2  Provision is made for suitable external clothes drying facilities.
DTS/DPF 35.2  None are applicable.	PO 35.3  Provision is made for suitable household waste and recyclable material storage facilities which are:  (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.
DTS/DPF 35.3  None are applicable.	PO 35.4  Waste and recyclable material storage areas are located away from dwellings.

DTS/DPF 35.4  Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.	PO 35.5  Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.
DTS/DPF 35.5  None are applicable.	PO 35.6  Services including gas and water meters are conveniently located and screened from public view.
DTS/DPF 35.6  None are applicable.	PO 35.1  Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.
Water sensitive urban design	
PO 36.1  Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 36.1  None are applicable.
PO 36.2  Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 36.2  None are applicable.
Supported Accommodation and retirement facilities	
Siting, Configuration and Design	
PO 37.1  Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.	DTS/DPF 37.1  None are applicable.
PO 37.2  Universal design features are incorporated to provide options for people living with disabilities or limited mobility and / or to facilitate ageing in place.	DTS/DPF 37.2  None are applicable.
Movement and Access	
PO 38.1  Development is designed to support safe and convenient access and movement for residents by providing:  (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40, and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points.	DTS/DPF 38.1  None are applicable.
Communal Open Space	
PO 39.1  Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.	DTS/DPF 39.1  None are applicable.

PO 39.2	DTS/DPF 39.2
Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	None are applicable.
PO 39.3	DTS/DPF 39.3
Communal open space is of sufficient size and dimensions to cater for group recreation.	Communal open space incorporates a minimum dimension of 5 metres.
PO 39.4	DTS/DPF 39.4
Communal open space is designed and sited to: <ul style="list-style-type: none"> <li>(a) be conveniently accessed by the dwellings which it services</li> <li>(b) have regard to acoustic, safety, security and wind effects.</li> </ul>	None are applicable.
PO 39.5	DTS/DPF 39.5
Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	None are applicable.
PO 39.6	DTS/DPF 39.6
Communal open space is designed and sited to: <ul style="list-style-type: none"> <li>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</li> <li>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</li> </ul>	None are applicable.
Site Facilities / Waste Storage	
PO 40.1	DTS/DPF 40.1
Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric-powered vehicles.	None are applicable.
PO 40.2	DTS/DPF 40.2
Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	None are applicable.
PO 40.3	DTS/DPF 40.3
Provision is made for suitable external clothes drying facilities.	None are applicable.
PO 40.4	DTS/DPF 40.4
Provision is made for suitable household waste and recyclable material storage facilities conveniently located away, or screened, from view.	None are applicable.
PO 40.5	DTS/DPF 40.5
Waste and recyclable material storage areas are located away from dwellings.	Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 40.6	DTS/DPF 40.6
Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.	None are applicable.
PO 40.7	DTS/DPF 40.7
Services, including gas and water meters, are conveniently located and screened from public view.	None are applicable.

Student Accommodation	
PO 41.1  Student accommodation is designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents, including an internal layout and facilities that are designed to provide sufficient space and amenity for the requirements of student life and promote social interaction.	DTS/DPF 41.1  Student accommodation provides:  (a) a range of living options to meet a variety of accommodation needs, such as one-bedroom, two-bedroom and disability access units  (b) common or shared facilities to enable a more efficient use of space, including: <ul style="list-style-type: none"> <li>(i) shared cooking, laundry and external drying facilities</li> <li>(ii) internal and external communal and private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space</li> <li>(iii) common storage facilities at the rate of 8m<sup>3</sup> for every 2 dwellings or students</li> <li>(iv) common on-site parking in accordance with Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas</li> <li>(v) bicycle parking at the rate of one space for every 2 students.</li> </ul>
PO 41.2  Student accommodation is designed to provide easy adaptation of the building to accommodate an alternative use of the building in the event it is no longer required for student housing.	DTS/DPF 41.2  None are applicable.
All non-residential development	
Water Sensitive Design	
PO 42.1  Development likely to result in risk of export of sediment, suspended solids, organic matter, nutrients, oil and grease include stormwater management systems designed to minimise pollutants entering stormwater.	DTS/DPF 42.1  None are applicable.
PO 42.2  Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.	DTS/DPF 42.2  None are applicable.
PO 42.3  Development includes stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that development does not increase peak flows in downstream systems.	DTS/DPF 42.3  None are applicable.
Wash-down and Waste Loading and Unloading	
PO 43.1  Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, plant or equipment are:  (a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off (b) paved with an impervious material to facilitate wastewater collection (c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area (d) are designed to drain wastewater to either:	DTS/DPF 43.1  None are applicable.

<p>(i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or</p> <p>(ii) a holding tank and its subsequent removal off-site on a regular basis.</p>							
Laneway Development							
Infrastructure and Access							
<p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>						
Decks							
Design and Siting							
<p>PO 45.1</p> <p>Decks are designed and sited to:</p> <ul style="list-style-type: none"> <li>(a) complement the associated building form</li> <li>(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)</li> <li>(c) minimise cut and fill and overall massing when viewed from adjacent land.</li> </ul>	<p>DTS/DPF 45.1</p> <p>Decks:</p> <ul style="list-style-type: none"> <li>(a) where ancillary to a dwelling: <ul style="list-style-type: none"> <li>(i) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> <li>A. in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(ii) are set back at least 900mm from side or rear allotment boundaries</li> <li>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</li> <li>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less: <ul style="list-style-type: none"> <li>A. a total area is determined by the following table:</li> </ul> </li> </ul> </li> </ul> <table border="1" data-bbox="1059 1845 1519 2125"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> </tbody> </table>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site						
<150	10%						
150-200	15%						

	<table><tr><td>&gt;200-450</td><td>20%</td></tr><tr><td>&gt;450</td><td>25%</td></tr></table> <p>B. the amount of existing soft landscaping prior to the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <ul style="list-style-type: none"><li>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</li><li>(ii) are set back at least 2 metres from a public road.</li><li>(iii) have a floor area not exceeding 25m<sup>2</sup></li></ul> <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>	>200-450	20%	>450	25%
>200-450	20%				
>450	25%				
PO 45.2	DTS/DPF 45.2				
Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.	Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.				
PO 45.3	DTS/DPF 45.3				
Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.	Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.				

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <ul style="list-style-type: none"> <li>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</li> <li>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</li> </ul> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m

	Two bedroom dwelling	11 m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Forestry

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Commercial forestry is designed and sited to maximise economic benefits whilst managing potential negative impacts on the environment, transport networks, surrounding land uses and landscapes.

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
PO 1.1 Commercial forestry plantations are established where there is no detrimental effect on the physical environment or scenic quality of the rural landscape.	DTS/DPF 1.1 None are applicable.
PO 1.2 Commercial forestry plantations are established on slopes that are stable to minimise the risk of soil erosion.	DTS/DPF 1.2 Commercial forestry plantations are not located on land with a slope exceeding 20% (1-in-5).
PO 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are appropriately set back from any sensitive receiver to minimise fire risk and noise disturbance.	DTS/DPF 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are set back 50m or more from any sensitive receiver.
Water Protection	
PO 2.1 Commercial forestry plantations incorporate artificial drainage lines (i.e. culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas.	DTS/DPF 2.1 None are applicable.
PO 2.2 Appropriate siting, layout and design measures are adopted to minimise the impact of commercial forestry plantations on surface water resources.	DTS/DPF 2.2 Commercial forestry plantations:  (a) do not involve cultivation (excluding spot cultivation) in drainage lines (b) are set back 20m or more from the banks of any major watercourse (a third order or higher watercourse), lake, reservoir, wetland or sinkhole (with direct connection to an aquifer)

	(c) are set back 10m or more from the banks of any first or second order watercourse or sinkhole ( with no direct connection to an aquifer).																					
Fire Management																						
PO 3.1  Commercial forestry plantations incorporate appropriate firebreaks and fire management design elements.	DTS/DPF 3.1  Commercial forestry plantations provide:  (a) 7m or more wide external boundary firebreaks for plantations of 40ha or less (b) 10m or more wide external boundary firebreaks for plantations of between 40ha and 100ha (c) 20m or more wide external boundary firebreaks, or 10m with an additional 10m or more of fuel-reduced plantation, for plantations of 100ha or greater.  Note: Firebreaks prescribed above (as well as access tracks) may be included within the setback buffer distances prescribed by other policies of the Code.																					
PO 3.2  Commercial forestry plantations incorporate appropriate fire management access tracks.	DTS/DPF 3.2  Commercial forestry plantation fire management access tracks:  (a) are incorporated within all firebreaks (b) are 7m or more wide with a vertical clearance of 4m or more (c) are aligned to provide straight through access at junctions, or if they are a no through access track are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles (d) partition the plantation into units of 40ha or less in area.																					
Power-line Clearances																						
PO 4.1  Commercial forestry plantations achieve and maintain appropriate clearances from aboveground powerlines.	DTS/DPF 4.1  Commercial forestry plantations incorporating trees with an expected mature height of greater than 6m meet the clearance requirements listed in the following table: <table><tr><td>Voltage of transmission line</td><td>Tower or Pole</td><td>Minimum horizontal clearance distance between plantings and transmission lines</td></tr><tr><td>500 kV</td><td>Tower</td><td>38m</td></tr><tr><td>275 kV</td><td>Tower</td><td>25m</td></tr><tr><td>132 kV</td><td>Tower</td><td>30m</td></tr><tr><td>132 kV</td><td>Pole</td><td>20m</td></tr><tr><td>66 kV</td><td>Pole</td><td>20m</td></tr><tr><td>Less than 66 kV</td><td>Pole</td><td>20m</td></tr></table>	Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines	500 kV	Tower	38m	275 kV	Tower	25m	132 kV	Tower	30m	132 kV	Pole	20m	66 kV	Pole	20m	Less than 66 kV	Pole	20m
Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines																				
500 kV	Tower	38m																				
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132 kV	Pole	20m																				
66 kV	Pole	20m																				
Less than 66 kV	Pole	20m																				

## Housing Renewal

## Assessment Provisions (AP)

The Housing Renewal General Development Policies are only applicable to dwellings or residential flat building undertaken by:

- (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or
- (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.

Desired Outcome (DO)

Desired Outcome	
DO 1	Renewed residential environments replace older social housing and provide new social housing infrastructure and other housing options and tenures to enhance the residential amenity of the local area.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Residential development provides a range of housing choices.	DTS/DPF 1.1 Development comprises one or more of the following:  <ul style="list-style-type: none"> <li>(a) detached dwellings</li> <li>(b) semi-detached dwellings</li> <li>(c) row dwellings</li> <li>(d) group dwellings</li> <li>(e) residential flat buildings.</li> </ul>
PO 1.2 Medium-density housing options or higher are located in close proximity to public transit, open space and/or activity centres.	DTS/DPF 1.2 None are applicable.
Building Height	
PO 2.1 Buildings generally do not exceed 3 building levels unless in locations close to public transport, centres and/or open space.	DTS/DPF 2.1 Building height (excluding garages, carports and outbuildings) does not exceed 3 building levels and 12m and wall height does not exceed 9m (not including a gable end).
PO 2.2 Medium or high rise residential flat buildings located within or at the interface with zones which restrict heights to a maximum of 2 building levels transition down in scale and height towards the boundary of that zone, other than where it is a street boundary.	DTS/DPF 2.2 None are applicable.
Primary Street Setback	
PO 3.1 Buildings are set back from the primary street boundary to contribute to an attractive streetscape character.	DTS/DPF 3.1 Buildings are no closer to the primary street (excluding any balcony, verandah, porch, awning or similar structure) than 3m.
Secondary Street Setback	
PO 4.1 Buildings are set back from secondary street boundaries to maintain separation between building walls and public streets and contribute to a suburban streetscape character.	DTS/DPF 4.1 Buildings are set back at least 900mm from the boundary of the allotment with a secondary street frontage.

Boundary Walls	
PO 5.1  Boundary walls are limited in height and length to manage visual impacts and access to natural light and ventilation.	DTS/DPF 5.1  Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, dwellings with side boundary walls are sited on only one side boundary and satisfy (a) or (b):  (a) adjoin or abut a boundary wall of a building on adjoining land for the same length and height (b) do not: (i) exceed 3.2m in height from the lower of the natural or finished ground level (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, a maximum 45% of the length of the boundary (iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.
PO 5.2  Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.	DTS/DPF 5.2  Dwellings in a semi-detached or row arrangement are set back 900mm or more from side boundaries shared with allotments outside the development site, except for a carport or garage.
Side Boundary Setback	
PO 6.1  Buildings are set back from side boundaries to provide:  (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours.	DTS/DPF 6.1  Other than walls located on a side boundary, buildings are set back from side boundaries in accordance with the following:  (a) where the wall height does not exceed 3m - at least 900mm (b) for a wall that is not south facing and the wall height exceeds 3m - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings (c) for a wall that is south facing and the wall height exceeds 3m - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings.
Rear Boundary Setback	
PO 7.1  Buildings are set back from rear boundaries to provide:  (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation.	DTS/DPF 7.1  Dwellings are set back from the rear boundary:  (a) 3m or more for the first building level (b) 5m or more for any subsequent building level.
Buildings elevation design	
PO 8.1  Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and common driveway areas.	DTS/DPF 8.1  Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:  (a) a minimum of 30% of the building elevation is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building elevation

	<div><div>(c) a balcony projects from the building elevation</div><div>(d) a verandah projects at least 1m from the building elevation</div><div>(e) eaves of a minimum 400mm width extend along the width of the front elevation</div><div>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm.</div><div>(g) a minimum of two different materials or finishes are incorporated on the walls of the building elevation, with a maximum of 80% of the building elevation in a single material or finish.</div></div>						
<div>PO 8.2</div> <div>Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</div>	<div>DTS/DPF 8.2</div> <div>Each dwelling with a frontage to a public street:</div> <div><div>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</div><div>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street</div></div>						
<div>PO 8.3</div> <div>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</div>	<div>DTS/DPF 8.3</div> <div>None are applicable.</div>						
<div>PO 8.4</div> <div>Built form considers local context and provides a quality design response through scale, massing, materials, colours and architectural expression.</div>	<div>PO 8.5</div> <div>Entrances to multi-storey buildings are:</div> <div><div>(a) oriented towards the street</div><div>(b) visible and easily identifiable from the street</div><div>(c) designed to include a common mail box structure.</div></div>						
<div>DTS/DPF 8.5</div> <div>None are applicable.</div>	<div>DTS/DPF 8.4</div> <div>None are applicable.</div>						
Outlook and amenity							
<div>PO 9.1</div> <div>Living rooms have an external outlook to provide a high standard of amenity for occupants.</div>	<div>DTS/DPF 9.1</div> <div>A living room of a dwelling incorporates a window with an external outlook towards the street frontage or private open space.</div>						
<div>PO 9.2</div> <div>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</div>	<div>DTS/DPF 9.2</div> <div>None are applicable.</div>						
Private Open Space							
<div>PO 10.1</div> <div>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</div>	<div>DTS/DPF 10.1</div> <div>Private open space is provided in accordance with the following table:</div> <table><tr><th>Dwelling Type</th><th>Dwelling / Site Configuration</th><th>Minimum Rate</th></tr><tr><td>Dwelling (at ground level)</td><td></td><td>Total area: 24m<sup>2</sup> located behind the building line  Minimum adjacent to a living room: 16m<sup>2</sup> with a minimum dimension 3m</td></tr></table>	Dwelling Type	Dwelling / Site Configuration	Minimum Rate	Dwelling (at ground level)		Total area: 24m <sup>2</sup> located behind the building line  Minimum adjacent to a living room: 16m <sup>2</sup> with a minimum dimension 3m
Dwelling Type	Dwelling / Site Configuration	Minimum Rate					
Dwelling (at ground level)		Total area: 24m <sup>2</sup> located behind the building line  Minimum adjacent to a living room: 16m <sup>2</sup> with a minimum dimension 3m					

	Dwelling (above ground level)	Studio	4m <sup>2</sup> / minimum dimension 1.8m
		One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
		Two bedroom dwelling	11 m <sup>2</sup> / minimum dimension 2.4m
		Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m
PO 10.2 Private open space positioned to provide convenient access from internal living areas.	DTS/DPF 10.2 At least 50% of the required area of private open space is accessible from a habitable room.		
PO 10.3 Private open space is positioned and designed to:  (a) provide useable outdoor space that suits the needs of occupants; (b) take advantage of desirable orientation and vistas; and (c) adequately define public and private space.	DTS/DPF 10.3 None are applicable.		
Visual privacy			
PO 11.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.	DTS/DPF 11.1 Upper level windows facing side or rear boundaries shared with another residential allotment/site satisfy one of the following:  (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5m above the finished floor.		
PO 11.2 Development mitigates direct overlooking from upper level balconies and terraces to habitable rooms and private open space of adjoining residential uses.	DTS/DPF 11.2 One of the following is satisfied:  (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases		
Landscaping			
PO 12.1 Soft landscaping is incorporated into development to:	DTS/DPF 12.1 Residential development incorporates pervious areas for soft		

<ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) maximise shade and shelter</li> <li>(c) maximise stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<p>landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <p>(a) a total area as determined by the following table:</p> <table border="1" data-bbox="831 253 1519 443"> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m2)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>&lt;200</td><td>15%</td></tr> <tr> <td>200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> <p>(b) at least 30% of land between the road boundary and the building line.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m2)	Minimum percentage of site	<150	10%	<200	15%	200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m2)	Minimum percentage of site										
<150	10%										
<200	15%										
200-450	20%										
>450	25%										
Water Sensitive Design											
<p>PO 13.1</p> <p>Residential development is designed to capture and use stormwater to:</p> <ul style="list-style-type: none"> <li>(a) maximise efficient use of water resources</li> <li>(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded</li> <li>(c) manage runoff quality to maintain, as close as practical, pre-development conditions.</li> </ul>	<p>DTS/DPF 13.1</p> <p>None are applicable.</p>										
Car Parking											
<p>PO 14.1</p> <p>On-site car parking is provided to meet the anticipated demand of residents, with less on-site parking in areas in close proximity to public transport.</p>	<p>DTS/DPF 14.1</p> <p>On-site car parking is provided at the following rates per dwelling:</p> <ul style="list-style-type: none"> <li>(a) 2 or fewer bedrooms - 1 car parking space</li> <li>(b) 3 or more bedrooms - 2 car parking spaces.</li> </ul>										
<p>PO 14.2</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 14.2</p> <p>Residential parking spaces enclosed by fencing, walls or other obstructions with the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.5m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>										
<p>PO 14.3</p> <p>Uncovered car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 14.3</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>										
<p>PO 14.4</p> <p>Residential flat buildings and group dwelling developments provide sufficient on-site visitor car parking to cater for anticipated demand.</p>	<p>DTS/DPF 14.4</p> <p>Visitor car parking for group and residential flat buildings incorporating 4 or more dwellings is provided on-site at a minimum ratio of 0.25 car parking spaces per dwelling.</p>										
<p>PO 14.5</p>	<p>DTS/DPF 14.5</p>										

Residential flat buildings provide dedicated areas for bicycle parking.	Residential flat buildings provide one bicycle parking space per dwelling.
Overshadowing	
PO 15.1  Development minimises overshadowing of the private open spaces of adjoining land by ensuring that ground level open space associated with residential buildings receive direct sunlight for a minimum of 2 hours between 9am and 3pm on 21 June.	DTS/DPF 15.1  None are applicable.
Waste	
PO 16.1  Provision is made for the convenient storage of waste bins in a location screened from public view.	DTS/DPF 16.1  A waste bin storage area is provided behind the primary building line that:  (a) has a minimum area of 2m <sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and  (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.
PO 16.2  Residential flat buildings provide a dedicated area for the on-site storage of waste which is:  (a) easily and safely accessible for residents and for collection vehicles (b) screened from adjoining land and public roads (c) of sufficient dimensions to be able to accommodate the waste storage needs of the development considering the intensity and nature of the development and the frequency of collection.	DTS/DPF 16.2  None are applicable.
Vehicle Access	
PO 17.1  Driveways are located and designed to facilitate safe access and egress while maximising land available for street tree planting, landscaped street frontages and on-street parking.	DTS/DPF 17.1  None are applicable.
PO 17.2  Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.	DTS/DPF 17.2  Vehicle access to designated car parking spaces satisfy (a) or (b):  (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land  (b) where newly proposed, is set back: (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
PO 17.3	DTS/DPF 17.3

<p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</li> </ul> <div data-bbox="917 436 1492 1176" data-label="Diagram"> </div> <ul style="list-style-type: none"> <li>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.</li> </ul>
<p>PO 17.4</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street parking.</p>	<p>DTS/DPF 17.4</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
<p>PO 17.5</p> <p>Residential driveways that service more than one dwelling of a dimension to allow safe and convenient movement.</p>	<p>DTS/DPF 17.5</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <ul style="list-style-type: none"> <li>(a) have a minimum width of 3m</li> <li>(b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> <li>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</li> <li>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</li> </ul> </li> </ul>
<p>PO 17.6</p>	<p>DTS/DPF 17.6</p>

Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.	Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre
PO 17.7  Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 17.7  Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Storage	
PO 18.1  Dwellings are provided with sufficient and accessible space for storage to meet likely occupant needs.	DTS/DPF 18.1  Dwellings are provided with storage at the following rates and 50% or more of the storage volume is provided within the dwelling:  (a) studio: not less than 6m <sup>3</sup> (b) 1 bedroom dwelling / apartment: not less than 8m <sup>3</sup> (c) 2 bedroom dwelling / apartment: not less than 10m <sup>3</sup> (d) 3+ bedroom dwelling / apartment: not less than 12m <sup>3</sup> .
Earthworks	
PO 19.1  Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 19.1  The development does not involve:  (a) excavation exceeding a vertical height of 1m or (b) filling exceeding a vertical height of 1m or (c) a total combined excavation and filling vertical height exceeding 2m.
Service connections and infrastructure	
PO 20.1  Dwellings are provided with appropriate service connections and infrastructure.	DTS/DPF 20.1  The site and building:  (a) have the ability to be connected to a permanent potable water supply (b) have the ability to be connected to a sewerage system, or a wastewater system approved under the <i>South Australian Public Health Act 2011</i> (c) have the ability to be connected to electricity supply (d) have the ability to be connected to an adequate water supply (and pressure) for fire-fighting purposes (e) would not be contrary to the Regulations prescribed for the purposes of Section 86 of the <i>Electricity Act 1996</i> .
Site contamination	
PO 21.1  Land that is suitable for sensitive land uses to provide a safe environment.	DTS/DPF 21.1  Development satisfies (a), (b), (c) or (d):  (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a <u>more sensitive use</u> (c) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> does not exist (as demonstrated in a <u>site contamination declaration form</u> ) (d) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:

	<p>(i) a <u>site contamination audit report</u> has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that</p> <p>A. <u>site contamination</u> does not exist (or no longer exists) at the land or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further <u>remediation</u>) or</p> <p>C. where <u>remediation</u> is, or remains, necessary for the proposed use (or range of uses), <u>remediation work</u> has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other <u>class 1 activity</u> or <u>class 2 activity</u> has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a <u>site contamination declaration form</u>).</p>
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## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
PO 1.1 Development is located and designed to minimise hazard or nuisance to adjacent development and land uses.	DTS/DPF 1.1 None are applicable.
Visual Amenity	
PO 2.1 The visual impact of above-ground infrastructure networks and services (excluding high voltage transmission lines), renewable energy facilities (excluding wind farms), energy storage facilities and ancillary development is minimised from townships, scenic routes and public roads by:	DTS/DPF 2.1 None are applicable.

<ul style="list-style-type: none"> <li>(a) utilising features of the natural landscape to obscure views where practicable</li> <li>(b) siting development below ridgelines where practicable</li> <li>(c) avoiding visually sensitive and significant landscapes</li> <li>(d) using materials and finishes with low-reflectivity and colours that complement the surroundings</li> <li>(e) using existing vegetation to screen buildings</li> <li>(f) incorporating landscaping or landscaped mounding around the perimeter of a site and between adjacent allotments accommodating or zoned to primarily accommodate sensitive receivers.</li> </ul>	
<p>PO 2.2</p> <p>Pumping stations, battery storage facilities, maintenance sheds and other ancillary structures incorporate vegetation buffers to reduce adverse visual impacts on adjacent land.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>PO 2.3</p> <p>Surfaces exposed by earthworks associated with the installation of storage facilities, pipework, penstock, substations and other ancillary plant are reinstated and revegetated to reduce adverse visual impacts on adjacent land.</p>	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
Rehabilitation	
<p>PO 3.1</p> <p>Progressive rehabilitation (incorporating revegetation) of disturbed areas, ahead of or upon decommissioning of areas used for renewable energy facilities and transmission corridors.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
Hazard Management	
<p>PO 4.1</p> <p>Infrastructure and renewable energy facilities and ancillary development located and operated to not adversely impact maritime or air transport safety, including the operation of ports, airfields and landing strips.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Facilities for energy generation, power storage and transmission are separated as far as practicable from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms / lookouts) to reduce risks to public safety from fire or equipment malfunction.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Bushfire hazard risk is minimised for renewable energy facilities by providing appropriate access tracks, safety equipment and water tanks and establishing cleared areas around substations, battery storage and operations compounds.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
Electricity Infrastructure and Battery Storage Facilities	
<p>PO 5.1</p> <p>Electricity infrastructure is located to minimise visual impacts through techniques including:</p> <ul style="list-style-type: none"> <li>(a) siting utilities and services: <ul style="list-style-type: none"> <li>(i) on areas already cleared of native vegetation</li> <li>(ii) where there is minimal interference or disturbance to existing native vegetation or biodiversity</li> </ul> </li> </ul>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>

(b) grouping utility buildings and structures with non-residential development, where practicable.	
PO 5.2 Electricity supply (excluding transmission lines) serving new development in urban areas and townships installed underground, excluding lines having a capacity exceeding or equal to 33kV.	DTS/DPF 5.2 None are applicable.
PO 5.3 Battery storage facilities are co-located with substation infrastructure where practicable to minimise the development footprint and reduce environmental impacts.	DTS/DPF 5.3 None are applicable.
Telecommunication Facilities	
PO 6.1 The proliferation of telecommunications facilities in the form of towers/monopoles in any one locality is managed, where technically feasible, by co-locating a facility with other communications facilities to mitigate impacts from clutter on visual amenity.	DTS/DPF 6.1 None are applicable.
PO 6.2 Telecommunications antennae are located as close as practicable to support structures to manage overall bulk and mitigate impacts on visual amenity.	DTS/DPF 6.2 None are applicable.
PO 6.3 Telecommunications facilities, particularly towers/monopoles, are located and sized to mitigate visual impacts by the following methods:  (a) where technically feasible, incorporating the facility within an existing structure that may serve another purpose  or all of the following:  (b) using existing buildings and landscape features to obscure or interrupt views of a facility from nearby public roads, residential areas and places of high public amenity to the extent practical without unduly hindering the effective provision of telecommunications services  (c) using materials and finishes that complement the environment  (d) screening using landscaping and vegetation, particularly for equipment shelters and huts.	DTS/DPF 6.3 None are applicable.
Renewable Energy Facilities	
PO 7.1 Renewable energy facilities are located as close as practicable to existing transmission infrastructure to facilitate connections and minimise environmental impacts as a result of extending transmission infrastructure.	DTS/DPF 7.1 None are applicable.
Renewable Energy Facilities (Wind Farm)	
PO 8.1 Visual impact of wind turbine generators on the amenity of	DTS/DPF 8.1 Wind turbine generators are:

residential and tourist development is reduced through appropriate separation.	<div>(a) set back at least 2000m from the base of a turbine to any of the following zones:<div><div>(i) Rural Settlement Zone</div><div>(ii) Township Zone</div><div>(iii) Rural Living Zone</div><div>(iv) Rural Neighbourhood Zone</div></div></div> <div>with an additional 10m setback per additional metre over 150m overall turbine height (measured from the base of the turbine).</div> <div>(b) set back at least 1500m from the base of the turbine to non-associated (non-stakeholder) dwellings and tourist accommodation</div>														
<div>PO 8.2</div> <div>The visual impact of wind turbine generators on natural landscapes is managed by:</div> <div><div>(a) designing wind turbine generators to be uniform in colour, size and shape</div><div>(b) coordinating blade rotation and direction</div><div>(c) mounting wind turbine generators on tubular towers as opposed to lattice towers.</div></div>	<div>DTS/DPF 8.2</div> <div>None are applicable.</div>														
<div>PO 8.3</div> <div>Wind turbine generators and ancillary development minimise potential for bird and bat strike.</div>	<div>DTS/DPF 8.3</div> <div>None are applicable.</div>														
<div>PO 8.4</div> <div>Wind turbine generators incorporate recognition systems or physical markers to minimise the risk to aircraft operations.</div>	<div>DTS/DPF 8.4</div> <div>No Commonwealth air safety (CASA / ASA) or Defence requirement is applicable.</div>														
<div>PO 8.5</div> <div>Meteorological masts and guidewires are identifiable to aircraft through the use of colour bands, marker balls, high visibility sleeves or flashing strobes.</div>	<div>DTS/DPF 8.5</div> <div>None are applicable.</div>														
Renewable Energy Facilities (Solar Power)															
<div>PO 9.1</div> <div>Ground mounted solar power facilities generating 5MW or more are not located on land requiring the clearance of areas of intact native vegetation or on land of high environmental, scenic or cultural value.</div>	<div>DTS/DPF 9.1</div> <div>None are applicable.</div>														
<div>PO 9.2</div> <div>Ground mounted solar power facilities allow for movement of wildlife by:</div> <div><div>(a) incorporating wildlife corridors and habitat refuges</div><div>(b) avoiding the use of extensive security or perimeter fencing or incorporating fencing that enables the passage of small animals without unreasonably compromising the security of the facility.</div></div>	<div>DTS/DPF 9.2</div> <div>None are applicable.</div>														
<div>PO 9.3</div> <div>Amenity impacts of solar power facilities are minimised through separation from conservation areas and sensitive receivers in other ownership.</div>	<div>DTS/DPF 9.3</div> <div>Ground mounted solar power facilities are set back from land boundaries, conservation areas and relevant zones in accordance with the following criteria:</div> <table><tr><th>Generation Capacity</th><th>Approximate size of array</th><th>Setback from adjoining</th><th>Setback from conservation</th><th>Setback from Township, Rural</th></tr><tr><td></td><td></td><td></td><td></td><td></td></tr></table>					Generation Capacity	Approximate size of array	Setback from adjoining	Setback from conservation	Setback from Township, Rural					
Generation Capacity	Approximate size of array	Setback from adjoining	Setback from conservation	Setback from Township, Rural											

			land boundary	areas	Settlement, Rural Neighbourhood and Rural Living Zones <sup>1</sup>
	50MW>	80ha+	30m	500m	2km
	10MW<50MW	16ha-<80ha	25m	500m	1.5km
	5MW<10MW	8ha to <16ha	20m	500m	1km
	1MW<5MW	1.6ha to <8ha	15m	500m	500m
	100kW<1MW	0.5ha<1.6ha	10m	500m	100m
	<100kW	<0.5ha	5m	500m	25m
	Notes:  1. Does not apply when the site of the proposed ground mounted solar power facility is located within one of these zones.				
PO 9.4  Ground mounted solar power facilities incorporate landscaping within setbacks from adjacent road frontages and boundaries of adjacent allotments accommodating non-host dwellings, where balanced with infrastructure access and bushfire safety considerations.	DTS/DPF 9.4  None are applicable.				
Hydropower / Pumped Hydropower Facilities					
PO 10.1  Hydropower / pumped hydropower facility storage is designed and operated to minimise the risk of storage dam failure.	DTS/DPF 10.1  None are applicable.				
PO 10.2  Hydropower / pumped hydropower facility storage is designed and operated to minimise water loss through increased evaporation or system leakage, with the incorporation of appropriate liners, dam covers, operational measures or detection systems.	DTS/DPF 10.2  None are applicable.				
PO 10.3  Hydropower / pumped hydropower facilities on existing or former mine sites minimise environmental impacts from site contamination, including from mine operations or water sources subject to such processes, now or in the future.	DTS/DPF 10.3  None are applicable.				
Water Supply					
PO 11.1  Development is connected to an appropriate water supply to meet the ongoing requirements of the intended use.	DTS/DPF 11.1  Development is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the on-going requirements of the development.				
PO 11.2  Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the	DTS/DPF 11.2  A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the				

intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is: <ul style="list-style-type: none"> <li>(a) exclusively for domestic use</li> <li>(b) connected to the roof drainage system of the dwelling.</li> </ul>
Wastewater Services	
PO 12.1  Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following: <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> <li>(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.</li> </ul>	DTS/DPF 12.1  Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following: <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>
PO 12.2  Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2  Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.
Temporary Facilities	
PO 13.1  In rural and remote locations, development that is likely to generate significant waste material during construction, including packaging waste, makes provision for a temporary on-site waste storage enclosure to minimise the incidence of wind-blown litter.	DTS/DPF 13.1  A waste collection and disposal service is used to dispose of the volume of waste at the rate it is generated.
PO 13.2  Temporary facilities to support the establishment of renewable energy facilities (including borrow pits, concrete batching plants, laydown, storage, access roads and worker amenity areas) are sited and operated to minimise environmental impact.	DTS/DPF 13.2  None are applicable.

## Intensive Animal Husbandry and Dairies

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development of intensive animal husbandry and dairies in locations that are protected from encroachment by sensitive receivers and in a manner that minimises their adverse effects on amenity and the environment.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
PO 1.1 Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to not unreasonably impact on the environment or amenity of the locality.	DTS/DPF 1.1 None are applicable.
PO 1.2 Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to prevent the potential transmission of disease to other operations where animals are kept.	DTS/DPF 1.2 None are applicable.
PO 1.3 Intensive animal husbandry and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	DTS/DPF 1.3 None are applicable.
PO 1.4 Dairies and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	DTS/DPF 1.4 Dairies, associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities are located 500m or more from the nearest sensitive receiver in other ownership.
PO 1.5 Lagoons for the storage or treatment of milking shed effluent is adequately separated from roads to minimise impacts from odour on the general public.	DTS/DPF 1.5 Lagoons for the storage or treatment of milking shed effluent are set back 20m or more from public roads.
Waste	
PO 2.1 Storage of manure, used litter and other wastes (other than waste water lagoons) is sited, designed, constructed and managed to:  (a) avoid attracting and harbouring vermin (b) avoid polluting water resources (c) be located outside 1% AEP flood event areas.	DTS/DPF 2.1 None are applicable.
Soil and Water Protection	
PO 3.1 To avoid environmental harm and adverse effects on water resources, intensive animal husbandry operations are appropriately set back from:  (a) public water supply reservoirs (b) major watercourses (third order or higher stream) (c) any other watercourse, bore or well used for domestic or stock water supplies.	DTS/DPF 3.1 Intensive animal husbandry operations are set back:  (a) 800m or more from a public water supply reservoir (b) 200m or more from a major watercourse (third order or higher stream) (c) 100m or more from any other watercourse, bore or well used for domestic or stock water supplies.
PO 3.2 Intensive animal husbandry operations and dairies incorporate appropriately designed effluent and run-off facilities that:	DTS/DPF 3.2 None are applicable.

(a) have sufficient capacity to hold effluent and runoff from the operations on site	
(b) ensure effluent does not infiltrate and pollute groundwater, soil or other water resources.	

## Interface between Land Uses

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome		Deemed-to-Satisfy Criteria / Designated Performance Feature									
General Land Use Compatibility											
PO 1.1  Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone.		DTS/DPF 1.1  None are applicable.									
PO 1.2  Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.		DTS/DPF 1.2  None are applicable.									
Hours of Operation											
PO 2.1  Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:  (a) the nature of the development (b) measures to mitigate off-site impacts (c) the extent to which the development is desired in the zone (d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.		DTS/DPF 2.1  Development operating within the following hours:									
		<table><tr><th>Class of Development</th><th>Hours of operation</th></tr><tr><td>Consulting room</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr><tr><td>Office</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr><tr><td>Shop, other than any one or combination of the following:  (a) restaurant</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday</td></tr></table>		Class of Development	Hours of operation	Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Shop, other than any one or combination of the following:  (a) restaurant	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday
		Class of Development	Hours of operation								
		Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday								
		Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday								
Shop, other than any one or combination of the following:  (a) restaurant	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday										

	(b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone	
Overshadowing		
PO 3.1  Overshadowing of habitable room windows of adjacent residential land uses in:  a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1  North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.	
PO 3.2  Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:  a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.2  Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:  a. for ground level private open space, the smaller of the following: i. half the existing ground level open space or ii. 35m2 of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m) b. for ground level communal open space, at least half of the existing ground level open space.	
PO 3.3  Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:  (a) the form of development contemplated in the zone (b) the orientation of the solar energy facilities (c) the extent to which the solar energy facilities are already overshadowed.	DTS/DPF 3.3  None are applicable.	
PO 3.4  Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.	DTS/DPF 3.4  None are applicable.	
Activities Generating Noise or Vibration		
PO 4.1  Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).	DTS/DPF 4.1  Noise that affects sensitive receivers achieves the relevant Environment Protection (Commercial and Industrial Noise) Policy criteria.	
PO 4.2  Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:	DTS/DPF 4.2  None are applicable.	

<p>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</p> <p>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</p>					
<p>PO 4.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.3</p> <p>The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <p>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>				
<p>PO 4.4</p> <p>External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.</p>	<p>DTS/DPF 4.4</p> <p>Adjacent land is used for residential purposes.</p>				
<p>PO 4.5</p> <p>Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.5</p> <p>None are applicable.</p>				
<p>PO 4.6</p> <p>Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 4.6</p> <p>Development incorporating music includes noise attenuation measures that will achieve the following noise levels:</p> <table border="1"> <thead> <tr> <th>Assessment location</th><th>Music noise level</th></tr> </thead> <tbody> <tr> <td>Externally at the nearest existing or envisaged noise sensitive location</td><td>Less than 8dB above the level of background noise (L<sub>90,15min</sub>) in any octave band of the sound spectrum (LOCT<sub>10,15</sub> &lt; LOCT<sub>90,15</sub> + 8dB)</td></tr> </tbody> </table>	Assessment location	Music noise level	Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L <sub>90,15min</sub> ) in any octave band of the sound spectrum (LOCT <sub>10,15</sub> < LOCT <sub>90,15</sub> + 8dB)
Assessment location	Music noise level				
Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L <sub>90,15min</sub> ) in any octave band of the sound spectrum (LOCT <sub>10,15</sub> < LOCT <sub>90,15</sub> + 8dB)				
Air Quality					
<p>PO 5.1</p> <p>Development with the potential to emit harmful or nuisance-generating air pollution incorporates air pollution control measures to prevent harm to human health or unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) within the locality and zones primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>				
<p>PO 5.2</p> <p>Development that includes chimneys or exhaust flues (including cafes, restaurants and fast food outlets) is designed to minimise nuisance or adverse health impacts to sensitive receivers (or lawfully approved sensitive receivers) by:</p> <p>(a) incorporating appropriate treatment technology before exhaust emissions are released</p>	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>				

(b) locating and designing chimneys or exhaust flues to maximise the dispersion of exhaust emissions, taking into account the location of sensitive receivers.	
Light Spill	
PO 6.1  External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).	DTS/DPF 6.1  None are applicable.
PO 6.2  External lighting is not hazardous to motorists and cyclists.	DTS/DPF 6.2  None are applicable.
Solar Reflectivity / Glare	
PO 7.1  Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.	DTS/DPF 7.1  None are applicable.
Electrical Interference	
PO 8.1  Development in rural and remote areas does not unreasonably diminish or result in the loss of existing communication services due to electrical interference.	DTS/DPF 8.1  The building or structure: <ul style="list-style-type: none"> <li>(a) is no greater than 10m in height, measured from existing ground level or</li> <li>(b) is not within a line of sight between a fixed transmitter and fixed receiver (antenna) other than where an alternative service is available via a different fixed transmitter or cable.</li> </ul>
Interface with Rural Activities	
PO 9.1  Sensitive receivers are located and designed to mitigate impacts from lawfully existing horticultural and farming activities (or lawfully approved horticultural and farming activities), including spray drift and noise and do not prejudice the continued operation of these activities.	DTS/DPF 9.1  None are applicable.
PO 9.2  Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing intensive animal husbandry activities and do not prejudice the continued operation of these activities.	DTS/DPF 9.2  None are applicable.
PO 9.3  Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities.	DTS/DPF 9.3  Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership.
PO 9.4  Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage and disposal facilities and do not prejudice the continued operation of these activities.	DTS/DPF 9.4  Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other ownership.
PO 9.5  Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the	DTS/DPF 9.5  Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following:

potential for extended hours of operation) and do not prejudice the continued operation of these activities.	<ul style="list-style-type: none"> <li>(a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility</li> <li>(b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day</li> <li>(c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres</li> <li>(d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes</li> <li>(e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes.</li> </ul>
PO 9.6 Setbacks and vegetation plantings along allotment boundaries should be incorporated to mitigate the potential impacts of spray drift and other impacts associated with agricultural and horticultural activities.	DTS/DPF 9.6 None are applicable.
PO 9.7 Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques.	DTS/DPF 9.7 None are applicable.
Interface with Mines and Quarries (Rural and Remote Areas)	
PO 10.1 Sensitive receivers are separated from existing mines to minimise the adverse impacts from noise, dust and vibration.	DTS/DPF 10.1 Sensitive receivers are located no closer than 500m from the boundary of a Mining Production Tenement under the <i>Mining Act 1971</i> .

## Land Division

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Land division:</p> <ul style="list-style-type: none"> <li>(a) creates allotments with the appropriate dimensions and shape for their intended use</li> <li>(b) allows efficient provision of new infrastructure and the optimum use of underutilised infrastructure</li> <li>(c) integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation, watercourses, water bodies and other environmental features</li> <li>(d) facilitates solar access through allotment orientation</li> <li>(e) creates a compact urban form that supports active travel, walkability and the use of public transport</li> <li>(f) avoids areas of high natural hazard risk.</li> </ul>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
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All land division	
Allotment configuration	
PO 1.1 Land division creates allotments suitable for their intended use.	DTS/DPF 1.1 Division of land satisfies (a) or (b):  (a) reflects the site boundaries illustrated and approved in an operative or existing development authorisation for residential development under the <i>Development Act 1993</i> or <i>Planning, Development and Infrastructure Act 2016</i> where the allotments are used or are proposed to be used solely for residential purposes  (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments.
PO 1.2 Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality.	DTS/DPF 1.2 None are applicable.
Design and Layout	
PO 2.1 Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls.	DTS/DPF 2.1 None are applicable.
PO 2.2 Land division enables the appropriate management of interface impacts between potentially conflicting land uses and/or zones.	DTS/DPF 2.2 None are applicable.
PO 2.3 Land division maximises the number of allotments that face public open space and public streets.	DTS/DPF 2.3 None are applicable.
PO 2.4 Land division is integrated with site features, adjacent land uses, the existing transport network and available infrastructure.	DTS/DPF 2.4 None are applicable.
PO 2.5 Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services.	DTS/DPF 2.5 None are applicable.
PO 2.6 Land division results in watercourses being retained within open space and development taking place on land not subject to flooding.	DTS/DPF 2.6 None are applicable.
PO 2.7 Land division results in legible street patterns connected to the surrounding street network.	DTS/DPF 2.7 None are applicable.
PO 2.8 Land division is designed to preserve existing vegetation of value including native vegetation and regulated and significant trees.	DTS/DPF 2.8 None are applicable.
Roads and Access	
PO 3.1 Land division provides allotments with access to an all-weather public road.	DTS/DPF 3.1 None are applicable.

PO 3.2 Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.	DTS/DPF 3.2 None are applicable.
PO 3.3 Land division does not impede access to publicly owned open space and/or recreation facilities.	DTS/DPF 3.3 None are applicable.
PO 3.4 Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles.	DTS/DPF 3.4 None are applicable.
PO 3.5 Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture.	DTS/DPF 3.5 None are applicable.
PO 3.6 Road reserves accommodate stormwater drainage and public utilities.	DTS/DPF 3.6 None are applicable.
PO 3.7 Road reserves provide unobstructed vehicular access and egress to and from individual allotments and sites.	DTS/DPF 3.7 None are applicable.
PO 3.8 Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network.	DTS/DPF 3.8 None are applicable.
PO 3.9 Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes.	DTS/DPF 3.9 None are applicable.
PO 3.10 Local streets are designed to create low-speed environments that are safe for cyclists and pedestrians.	DTS/DPF 3.10 None are applicable.
Infrastructure	
PO 4.1 Land division incorporates public utility services within road reserves or dedicated easements.	DTS/DPF 4.1 None are applicable.
PO 4.2 Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment.	DTS/DPF 4.2 Each allotment can be connected to:  (a) a waste water treatment plant that has the hydraulic volume and pollutant load treatment and disposal capacity for the maximum predicted wastewater volume generated by subsequent development of the proposed allotment or (b) a form of on-site waste water treatment and disposal that meets relevant public health and environmental standards.
PO 4.3 Septic tank effluent drainage fields and other waste water disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 4.3 Development is not built on, or encroaches within, an area that is or will be, required for a sewerage system or waste control system.
PO 4.4	DTS/DPF 4.4

Constructed wetland systems, including associated detention and retention basins, are sited and designed to ensure public health and safety is protected, including by minimising potential public health risks arising from the breeding of mosquitoes.	None are applicable.
PO 4.5 Constructed wetland systems, including associated detention and retention basins, are sited and designed to allow sediments to settle prior to discharge into watercourses or the marine environment.	DTS/DPF 4.5 None are applicable.
PO 4.6 Constructed wetland systems, including associated detention and retention basins, are sited and designed to function as a landscape feature.	DTS/DPF 4.6 None are applicable.
Minor Land Division (Under 20 Allotments)	
Open Space	
PO 5.1 Land division proposing an additional allotment under 1 hectare provides or supports the provision of open space.	DTS/DPF 5.1 None are applicable.
Solar Orientation	
PO 6.1 Land division for residential purposes facilitates solar access through allotment orientation.	DTS/DPF 6.1 None are applicable.
Water Sensitive Design	
PO 7.1 Land division creating a new road or common driveway includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 7.1 None are applicable.
PO 7.2 Land division designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 7.2 None are applicable.
Battle-Axe Development	
PO 8.1 Battle-axe development appropriately responds to the existing neighbourhood context.	DTS/DPF 8.1 Allotments are not in the form of a battle-axe arrangement.
PO 8.2 Battle-axe development designed to allow safe and convenient movement.	DTS/DPF 8.2 The handle of a battle-axe development:  (a) has a minimum width of 4m or (b) where more than 3 allotments are proposed, a minimum width of 5.5m.
PO 8.3 Battle-axe allotments and/or common land are of a suitable size and dimension to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 8.3 Battle-axe development allows a B85 passenger vehicle to enter and exit parking spaces in no more than a three-point turn manoeuvre.
PO 8.4	DTS/DPF 8.4

Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	<p>Battle-axe or common driveways satisfy (a) and (b):</p> <p>(a) are constructed of a minimum of 50% permeable or porous material</p> <p>(b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).</p>
Major Land Division (20+ Allotments)	
Open Space	
<p>PO 9.1</p> <p>Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
<p>PO 9.2</p> <p>Land allocated for open space is suitable for its intended active and passive recreational use considering gradient and potential for inundation.</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>
<p>PO 9.3</p> <p>Land allocated for active recreation has dimensions capable of accommodating a range of active recreational activities.</p>	<p>DTS/DPF 9.3</p> <p>None are applicable.</p>
Water Sensitive Design	
<p>PO 10.1</p> <p>Land division creating 20 or more allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 10.1</p> <p>None are applicable.</p>
<p>PO 10.2</p> <p>Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>
Solar Orientation	
<p>PO 11.1</p> <p>Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions.</p>	<p>DTS/DPF 11.1</p> <p>None are applicable.</p>

## Marinas and On-Water Structures

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Marinas and on-water structures are located and designed to minimise the impairment of commercial, recreational and navigational activities and adverse impacts on the environment.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Navigation and Safety	
PO 1.1 Safe public access is provided or maintained to the waterfront, public infrastructure and recreation areas.	DTS/DPF 1.1 None are applicable.
PO 1.2 The operation of wharves is not impaired by marinas and on-water structures.	DTS/DPF 1.2 None are applicable.
PO 1.3 Navigation and access channels are not impaired by marinas and on-water structures.	DTS/DPF 1.3 None are applicable.
PO 1.4 Commercial shipping lanes are not impaired by marinas and on-water structures.	DTS/DPF 1.4 Marinas and on-water structures are set back 250m or more from commercial shipping lanes.
PO 1.5 Marinas and on-water structures are located to avoid interfering with the operation or function of a water supply pumping station.	DTS/DPF 1.5 On-water structures are set back:  (a) 3km or more from upstream water supply pumping station take-off points (b) 500m or more from downstream water supply pumping station take-off points.
PO 1.6 Maintenance of on-water infrastructure, including revetment walls, is not impaired by marinas and on-water structures.	DTS/DPF 1.6 None are applicable.
Environmental Protection	
PO 2.1 Development is sited and designed to facilitate water circulation and exchange.	DTS/DPF 2.1 None are applicable.

## Open Space and Recreation

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Pleasant, functional and accessible open space and recreation facilities are provided at State, regional, district, neighbourhood and local levels for active and passive recreation, biodiversity, community health, urban cooling, tree canopy cover, visual amenity, gathering spaces, wildlife and waterway corridors, and a range of other functions and at a range of sizes that reflect the purpose of that open space.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Recreation facilities are compatible with surrounding land uses and activities.	DTS/DPF 1.1 None are applicable.
PO 1.2 Open space areas include natural or landscaped areas using locally indigenous plant species and large trees.	DTS/DPF 1.2 None are applicable.
Design and Siting	
PO 2.1 Open space and recreation facilities address adjacent public roads to optimise pedestrian access and visibility.	DTS/DPF 2.1 None are applicable.
PO 2.2 Open space and recreation facilities incorporate park furniture, shaded areas and resting places.	DTS/DPF 2.2 None are applicable.
PO 2.3 Open space and recreation facilities link habitats, wildlife corridors and existing open spaces and recreation facilities.	DTS/DPF 2.3 None are applicable.
Pedestrians and Cyclists	
PO 3.1 Open space incorporates:  (a) pedestrian and cycle linkages to other open spaces, centres, schools and public transport nodes; (b) safe crossing points where pedestrian routes intersect the road network; (c) easily identified access points.	DTS/DPF 3.1 None are applicable.
Usability	
PO 4.1 Land allocated for open space is suitable for its intended active and passive recreational use taking into consideration its gradient and potential for inundation.	DTS/DPF 4.1 None are applicable.
Safety and Security	
PO 5.1 Open space is overlooked by housing, commercial or other development to provide casual surveillance where possible.	DTS/DPF 5.1 None are applicable.
PO 5.2 Play equipment is located to maximise opportunities for passive surveillance.	DTS/DPF 5.2 None are applicable.

PO 5.3 Landscaping provided in open space and recreation facilities maximises opportunities for casual surveillance throughout the park.	DTS/DPF 5.3 None are applicable.
PO 5.4 Fenced parks and playgrounds have more than one entrance or exit to minimise potential entrapment.	DTS/DPF 5.4 None are applicable.
PO 5.5 Adequate lighting is provided around toilets, telephones, seating, litter bins, bicycle storage, car parks and other such facilities.	DTS/DPF 5.5 None are applicable.
PO 5.6 Pedestrian and bicycle movement after dark is focused along clearly defined, adequately lit routes with observable entries and exits.	DTS/DPF 5.6 None are applicable.
Signage	
PO 6.1 Signage is provided at entrances to and within the open space and recreation facilities to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes, park activities and the like.	DTS/DPF 6.1 None are applicable.
Buildings and Structures	
PO 7.1 Buildings and car parking areas in open space areas are designed, located and of a scale to be unobtrusive.	DTS/DPF 7.1 None are applicable.
PO 7.2 Buildings and structures in open space areas are clustered where practical to ensure that the majority of the site remains open.	DTS/DPF 7.2 None are applicable.
PO 7.3 Development in open space is constructed to minimise the extent of impervious surfaces.	DTS/DPF 7.3 None are applicable.
PO 7.4 Development that abuts or includes a coastal reserve or Crown land used for scenic, conservation or recreational purposes is located and designed to have regard to the purpose, management and amenity of the reserve.	DTS/DPF 7.4 None are applicable.
Landscaping	
PO 8.1 Open space and recreation facilities provide for the planting and retention of large trees and vegetation.	DTS/DPF 8.1 None are applicable.
PO 8.2 Landscaping in open space and recreation facilities provides shade and windbreaks:  (a) along cyclist and pedestrian routes; (b) around picnic and barbecue areas; (c) in car parking areas.	DTS/DPF 8.2 None are applicable.
PO 8.3 Landscaping in open space facilitates habitat for local fauna and	DTS/DPF 8.3 None are applicable.

facilitates biodiversity.	
PO 8.4 Landscaping including trees and other vegetation passively watered with local rainfall run-off, where practicable.	DTS/DPF 8.4 None are applicable.

## Out of Activity Centre Development

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO1	The role of Activity Centres in contributing to the form and pattern of development and enabling equitable and convenient access to a range of shopping, administrative, cultural, entertainment and other facilities in a single trip is maintained and reinforced.

Performance Outcomes and Deemed to Satisfy / Designated Performance Outcome Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Non-residential development outside Activity Centres of a scale and type that does not diminish the role of Activity Centres:  (a) as primary locations for shopping, administrative, cultural, entertainment and community services (b) as a focus for regular social and business gatherings (c) in contributing to or maintaining a pattern of development that supports equitable community access to services and facilities.	DTS/DPF 1.1 None are applicable.
PO 1.2 Out-of-activity centre non-residential development complements Activity Centres through the provision of services and facilities:  (a) that support the needs of local residents and workers, particularly in underserved locations (b) at the edge of Activities Centres where they cannot readily be accommodated within an existing Activity Centre to expand the range of services on offer and support the role of the Activity Centre.	DTS/DPF 1.2 None are applicable.

## Resource Extraction

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Resource extraction activities are developed in a manner that minimises human and environmental impacts.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Resource extraction activities minimise landscape damage outside of those areas unavoidably disturbed to access and exploit a resource and provide for the progressive reclamation and betterment of disturbed areas.	DTS/DPF 1.1 None are applicable.
PO 1.2 Resource extraction activities avoid damage to cultural sites or artefacts.	DTS/DPF 1.2 None are applicable.
Water Quality	
PO 2.1 Stormwater and/or wastewater from resource extraction activities is diverted into appropriately sized treatment and retention systems to enable reuse on site.	DTS/DPF 2.1 None are applicable.
Separation Treatments, Buffers and Landscaping	
PO 3.1 Resource extraction activities minimise adverse impacts upon sensitive receivers through incorporation of separation distances and/or mounding/vegetation.	DTS/DPF 3.1 None are applicable.
PO 3.2 Resource extraction activities are screened from view from adjacent land by perimeter landscaping and/or mounding.	DTS/DPF 3.2 None are applicable.

## Site Contamination

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Ensure land is suitable for use when land use changes to a more sensitive use.	DTS/DPF 1.1 Development satisfies (a), (b), (c) or (d):  (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)

	<p>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:</p> <p>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-</p> <p>A. site contamination does not exist (or no longer exists) at the land or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>
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## Tourism Development

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
PO 1.1 Tourism development complements and contributes to local, natural, cultural or historical context where: <ul style="list-style-type: none"> <li>(a) it supports immersive natural experiences</li> <li>(b) it showcases South Australia's landscapes and produce</li> <li>(c) its events and functions are connected to local food, wine and nature.</li> </ul>	DTS/DPF 1.1 None are applicable.
PO 1.2	DTS/DPF 1.2

Tourism development comprising multiple accommodation units (including any facilities and activities for use by guests and visitors) is clustered to minimise environmental and contextual impact.	None are applicable.
Caravan and Tourist Parks	
PO 2.1 Potential conflicts between long-term residents and short-term tourists are minimised through suitable siting and design measures.	DTS/DPF 2.1 None are applicable.
PO 2.2 Occupants are provided privacy and amenity through landscaping and fencing.	DTS/DPF 2.2 None are applicable.
PO 2.3 Communal open space and centrally located recreation facilities are provided for guests and visitors.	DTS/DPF 2.3 12.5% or more of a caravan park comprises clearly defined communal open space, landscaped areas and areas for recreation.
PO 2.4 Perimeter landscaping is used to enhance the amenity of the locality.	DTS/DPF 2.4 None are applicable.
PO 2.5 Amenity blocks (showers, toilets, laundry and kitchen facilities) are sufficient to serve the full occupancy of the development.	DTS/DPF 2.5 None are applicable.
PO 2.6 Long-term occupation does not displace tourist accommodation, particularly in important tourist destinations such as coastal and riverine locations.	DTS/DPF 2.6 None are applicable.
Tourist accommodation in areas constituted under the National Parks and Wildlife Act 1972	
PO 3.1 Tourist accommodation avoids delicate or environmentally sensitive areas such as sand dunes, cliff tops, estuaries, wetlands or substantially intact strata of native vegetation (including regenerated areas of native vegetation lost through bushfire).	DTS/DPF 3.1 None are applicable.
PO 3.2 Tourist accommodation is sited and designed in a manner that is subservient to the natural environment and where adverse impacts on natural features, landscapes, habitats and cultural assets are avoided.	DTS/DPF 3.2 None are applicable.
PO 3.3 Tourist accommodation and recreational facilities, including associated access ways and ancillary structures, are located on cleared (other than where cleared as a result of bushfire) or degraded areas or where environmental improvements can be achieved.	DTS/DPF 3.3 None are applicable.
PO 3.4 Tourist accommodation is designed to prevent conversion to private dwellings through: <ul style="list-style-type: none"> <li>(a) comprising a minimum of 10 accommodation units</li> <li>(b) clustering separated individual accommodation units</li> <li>(c) being of a size unsuitable for a private dwelling</li> <li>(d) ensuring functional areas that are generally associated with a private dwelling such as kitchens and laundries are excluded from, or physically separated from individual accommodation units, or are of a size unsuitable for a private dwelling.</li> </ul>	DTS/DPF 3.4 None are applicable.

## Transport, Access and Parking

### Assessment Provisions (AP)

Desired Outcome (DO)

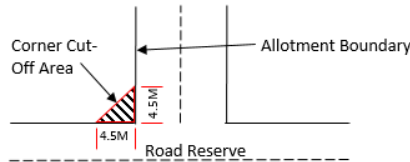
Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Movement Systems	
PO 1.1 Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers.	DTS/DPF 1.2 None are applicable.
PO 1.3 Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.	DTS/DPF 1.4 All vehicle manoeuvring occurs onsite.
Sightlines	
PO 2.1 Sightlines at intersections, pedestrian and cycle crossings, and crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians.	DTS/DPF 2.1 None are applicable.
PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2 None are applicable.
Vehicle Access	
PO 3.1	DTS/DPF 3.1

Safe and convenient access minimises impact or interruption on the operation of public roads.	<p>The access is:</p> <ul style="list-style-type: none"> <li>(a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or</li> <li>(b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.</li> </ul>
<p>PO 3.2</p> <p>Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>PO 3.3</p> <p>Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Access points are sited and designed to minimise any adverse impacts on neighbouring properties.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
<p>PO 3.5</p> <p>Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.</p>	<p>DTS/DPF 3.5</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p>PO 3.6</p> <p>Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).</p>	<p>DTS/DPF 3.6</p> <p>Driveways and access points:</p> <ul style="list-style-type: none"> <li>(a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided</li> <li>(b) for sites with a frontage to a public road greater than 20m: <ul style="list-style-type: none"> <li>(i) a single access point no greater than 6m in width is provided or</li> <li>(ii) not more than two access points with a width of 3.5m each are provided.</li> </ul> </li> </ul>
<p>PO 3.7</p> <p>Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.</p>	<p>DTS/DPF 3.7</p> <p>Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing:</p> <ul style="list-style-type: none"> <li>(a) 80 km/h road - 110m</li> <li>(b) 70 km/h road - 90m</li> <li>(c) 60 km/h road - 70m</li> </ul>

	(d) 50km/h or less road - 50m.
PO 3.8 Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.	DTS/DPF 3.8 None are applicable.
PO 3.9 Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.	DTS/DPF 3.9 None are applicable.
Access for People with Disabilities	
PO 4.1 Development is sited and designed to provide safe, dignified and convenient access for people with a disability.	DTS/DPF 4.1 None are applicable.
Vehicle Parking Rates	
PO 5.1 Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:  (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place.	DTS/DPF 5.1 Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:  (a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area (b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
Vehicle Parking Areas	
PO 6.1 Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving from one part of a parking area to another.	DTS/DPF 6.1 Movement between vehicle parking areas within the site can occur without the need to use a public road.
PO 6.2 Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.	DTS/DPF 6.2 None are applicable.
PO 6.3 Vehicle parking areas are designed to provide opportunity for integration and shared-use of adjacent car parking areas to reduce the total extent of vehicle parking areas and access points.	DTS/DPF 6.3 None are applicable.
PO 6.4 Pedestrian linkages between parking areas and the development are provided and are safe and convenient.	DTS/DPF 6.4 None are applicable.
PO 6.5 Vehicle parking areas that are likely to be used during non-daylight hours are provided with sufficient lighting to entry and exit points to ensure clear visibility to users.	DTS/DPF 6.5 None are applicable.
PO 6.6	DTS/DPF 6.6

Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site.	Loading areas and designated parking spaces are wholly located within the site.
PO 6.7 On-site visitor parking spaces are sited and designed to be accessible to all visitors at all times.	DTS/DPF 6.7 None are applicable.
Undercroft and Below Ground Garaging and Parking of Vehicles	
PO 7.1 Undercroft and below ground garaging of vehicles is designed to enable safe entry and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles.	DTS/DPF 7.1 None are applicable.
Internal Roads and Parking Areas in Residential Parks and Caravan and Tourist Parks	
PO 8.1 Internal road and vehicle parking areas are surfaced to prevent dust becoming a nuisance to park residents and occupants.	DTS/DPF 8.1 None are applicable.
PO 8.2 Traffic circulation and movement within the park is pedestrian friendly and promotes low speed vehicle movement.	DTS/DPF 8.2 None are applicable.
Bicycle Parking in Designated Areas	
PO 9.1 The provision of adequately sized on-site bicycle parking facilities encourages cycling as an active transport mode.	DTS/DPF 9.1 Areas and / or fixtures are provided for the parking and storage of bicycles at a rate not less than the amount calculated using Transport, Access and Parking Table 3 - Off Street Bicycle Parking Requirements.
PO 9.2 Bicycle parking facilities provide for the secure storage and tethering of bicycles in a place where casual surveillance is possible, is well lit and signed for the safety and convenience of cyclists and deters property theft.	DTS/DPF 9.2 None are applicable.
PO 9.3 Non-residential development incorporates end-of-journey facilities for employees such as showers, changing facilities and secure lockers, and signage indicating the location of the facilities to encourage cycling as a mode of journey-to-work transport.	DTS/DPF 9.3 None are applicable.
Corner Cut-Offs	
PO 10.1 Development is located and designed to ensure drivers can safely turn into and out of public road junctions.	<p>DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 
Heavy Vehicle Parking	
PO 11.1 Heavy vehicle parking and access is designed and sited so that the	<p>DTS/DPF 11.1 Heavy vehicle parking occurs in accordance with the following:</p>

activity does not result in nuisance to adjoining neighbours as a result of dust, fumes, vibration, odour or potentially hazardous loads.	<ul style="list-style-type: none"> <li>(a) the site is not located within a Neighbourhood-type zone (except a Rural Living Zone)</li> <li>(b) the site is a minimum of 0.4 ha</li> <li>(c) where the site is 2 ha or more, no more than 2 vehicles exceeding 3,000 kilograms each (and trailers) are to be parked on the allotment at any time</li> <li>(d) where the site is between 0.4 ha and 2 ha, only one vehicle exceeding 3,000 kilograms (and one trailer) are to be parking on the allotment at any time</li> <li>(e) the vehicle parking area achieves the following setbacks: <ul style="list-style-type: none"> <li>(i) behind the building line or 30m, whichever is greater</li> <li>(ii) 20m from the secondary street if it is a State Maintained Road</li> <li>(iii) 10m from the secondary street if it is a local road</li> <li>(iv) 10m from side and rear boundaries</li> </ul> </li> <li>(f) parking and access areas (including internal driveways) should be sealed or have a surface that can be treated and maintained to minimise dust and mud nuisance</li> <li>(g) does not include refrigerated trailers or vehicles</li> <li>(h) vehicles only enter and exit the property in accordance with the following hours: <ul style="list-style-type: none"> <li>(i) Monday to Saturday 6:00am and 9:30pm</li> <li>(ii) Sunday and public holidays between 9:30 am and 7:00 pm</li> </ul> </li> <li>(i) the handling or trans-shipment of freight is not carried out on the property.</li> </ul>
PO 11.2  Heavy vehicle parking ensures that vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.	DTS/DPF 11.2  Heavy vehicles: <ul style="list-style-type: none"> <li>(a) can enter and exit the site in a forward direction; and</li> <li>(b) operate within the statutory mass and dimension limited for General Access Vehicles (as prescribed by the National Heavy Vehicle Regulator).</li> </ul>
PO 11.3  Heavy vehicle parking is screened through siting behind buildings, screening, landscaping or the like to obscure views from adjoining properties and public roads.	DTS/DPF 11.3  None are applicable.

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.	
Residential Development	
Co-located Housing	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling to be located in a shared car parking area / arrangement.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling to be located in a shared car parking area / arrangement.</p> <p>Where development involves 3 or more dwellings, 0.33 spaces per</p>

	dwelling for visitor parking to be located in a shared car parking area / arrangement.
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Group Dwelling	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.  0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Residential Flat Building	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.  0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Row Dwelling where vehicle access is from the primary street	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Semi-Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Aged / Supported Accommodation	
Retirement facility	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.  0.2 spaces per dwelling for visitor parking.
Supported accommodation	0.3 spaces per bed.
Residential Development (Other)	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.  0.2 spaces per dwelling for visitor parking.
Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist	
Caravan and tourist park	Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.  Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.  A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.
Tourist accommodation other than a caravan and tourist park	1 car parking space per accommodation unit / guest room.
Commercial Uses	

Auction room/ depot	1 space per 100m2 of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.
Motor repair station	3 spaces per service bay.
Office	For a call centre, 8 spaces per 100m2 of gross leasable floor area  In all other cases, 4 spaces per 100m2 of gross leasable floor area.
Retail fuel outlet	3 spaces per 100m2 gross leasable floor area.
Service trade premises	2.5 spaces per 100m2 of gross leasable floor area  1 space per 100m2 of outdoor area used for display purposes.
Shop (no commercial kitchen)	5.5 spaces per 100m2 of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.  5 spaces per 100m2 of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m2 of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat.  Premises with take-away service but with no seats - 12 spaces per 100m2 of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point.  Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
Community and Civic Uses	
Community facility	For a library, 4 spaces per 100m2 of total floor area.  For a hall/meeting hall, 0.2 spaces per seat.  In all other cases, 10 spaces per 100m2 of total floor area.
Educational facility	For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.  For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.  For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.
Place of worship	1 space for every 3 visitor seats.
Child care facility	For a child care centre, 0.25 spaces per child  In all other cases, 1 per employee plus 0.25 per child (drop off/pick up bays).
Health Related Uses	
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Hospital	4.5 spaces per bed for a public hospital.  1.5 spaces per bed for a private hospital.
Recreational and Entertainment Uses	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m2 of total floor area in a public bar plus 1 space for every 6m2 of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility	6.5 spaces per 100m2 of total floor area for a Fitness Centre

	4.5 spaces per 100m2 of total floor area for all other Indoor recreation facilities.
Industry/Employment Uses	
Fuel depot	1.5 spaces per 100m2 total floor area  1 spaces per 100m2 of outdoor area used for fuel depot activity purposes.
Industry	1.5 spaces per 100m2 of total floor area.
Store	0.5 spaces per 100m2 of total floor area.
Timber yard	1.5 spaces per 100m2 of total floor area  1 space per 100m2 of outdoor area used for display purposes.
Warehouse	0.5 spaces per 100m2 total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m2 of total building floor area.

## Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column.

In the area identified in Concept Plan 152 Brompton Gasworks, car parking can be provided in a consolidated manner for that precinct rather than on a development-by-development basis

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:  1 space for each dwelling with a total floor area less than 75 square metres  2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres  3 spaces for each dwelling with a total floor area greater than 150 square metres.  Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Capital City Zone  City Main Street Zone  City Riverbank Zone  Adelaide Park Lands Zone  Business Neighbourhood Zone (within the City of Adelaide)  The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
Non-residential development			
Non-residential development excluding tourist accommodation	3 spaces per 100m2 of gross leasable floor area.	5 spaces per 100m2 of gross leasable floor area.	City Living Zone  Urban Corridor (Boulevard) Zone  Urban Corridor (Business) Zone  Urban Corridor (Living) Zone  Urban Corridor (Main Street ) Zone  Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)
Non-residential development excluding tourist accommodation	3 spaces per 100m2 of gross leasable floor area.	6 spaces per 100m2 of gross leasable floor area.	Strategic Innovation Zone in the City of Burnside, City of Marion or

			<p>City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p> <p>Suburban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Suburban Business Zone when the site is also in a high frequency public transit area</p> <p>Business Neighbourhood Zone outside of the City of Adelaide when the site is also in a high frequency public transit area</p> <p>Suburban Main Street Zone when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone</p>
Non-residential development excluding tourist accommodation	<p>3 spaces per 100 square metres of gross leasable floor area</p> <p>1.5 spaces per 100 square metres of gross leasable floor area above ground floor level other than for a shop</p>	3 spaces per 100 square metres of gross leasable floor area	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	<p>City Living Zone</p> <p>Urban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)</p>
Residential development			
Residential component of a multi-storey building	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor parking.</p>	None specified.	<p>City Living Zone</p> <p>Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p>

			Urban Activity Centre Zone when the site is also in a high frequency public transit area  Urban Corridor (Boulevard) Zone  Urban Corridor (Business) Zone  Urban Corridor (Living) Zone  Urban Corridor (Main Street) Zone  Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)
Residential component of a multi-storey building	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Residential flat building	Dwelling with no separate bedroom - 0.25 spaces per dwelling  1 bedroom dwelling - 0.75 spaces per dwelling  2 bedroom dwelling - 1 space per dwelling  3 or more bedroom dwelling - 1.25 spaces per dwelling  0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone  Urban Activity Centre Zone when the site is also in a high frequency public transit area  Urban Corridor (Boulevard) Zone  Urban Corridor (Business) Zone  Urban Corridor (Living) Zone  Urban Corridor (Main Street) Zone  Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)
Residential flat building	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Row dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Semi-detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Notes			
1	In the area identified in Concept Plan 152 Brompton Gasworks, car parking can be provided in a consolidated manner for that precinct rather than on a development-by-development basis		

### Table 3 - Off-Street Bicycle Parking Requirements

The bicycle parking rates apply within designated areas located within parts of the State identified in the Schedule to Table 3.

Class of Development	Bicycle Parking Rate
	Where a development comprises more than one development type, then the overall bicycle parking rate will be taken to be the sum of the bicycle parking rates for each development type.
Consulting room	1 space per 20 employees plus 1 space per 20 consulting rooms for customers.
Educational facility	For a secondary school - 1 space per 20 full-time time employees plus 10 percent of the total number of employee spaces for visitors.

	For tertiary education - 1 space per 20 employees plus 1 space per 10 full time students.	
Hospital	1 space per 15 beds plus 1 space per 30 beds for visitors.	
Indoor recreation facility	1 space per 4 employees plus 1 space per 200m2 of gross leasable floor area for visitors.	
Licensed Premises	1 per 20 employees, plus 1 per 60 square metres total floor area, plus 1 per 40 square metres of bar floor area, plus 1 per 120 square metres lounge and beer garden floor area, plus 1 per 60 square metres dining floor area, plus 1 per 40 square metres gaming room floor area.	
Office	1 space for every 200m2 of gross leasable floor area plus 2 spaces plus 1 space per 1000m2 of gross leasable floor area for visitors.	
Child care facility	1 space per 20 full time employees plus 1 space per 40 full time children.	
Recreation area	1 per 1500 spectator seats for employees plus 1 per 250 visitor and customers.	
Residential flat building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 for every 10 dwellings for visitors.	
Residential component of a multi-storey building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 space for every 10 dwellings for visitors.	
Shop	1 space for every 300m2 of gross leasable floor area plus 1 space for every 600m2 of gross leasable floor area for customers.	
Tourist accommodation	1 space for every 20 employees plus 2 for the first 40 rooms and 1 for every additional 40 rooms for visitors.	
Schedule to Table 3	Designated Area	Relevant part of the State
	The bicycle parking rate applies to a designated area located in a relevant part of the State described below.	
	All zones	City of Adelaide
	Business Neighbourhood Zone	Metropolitan Adelaide
	Strategic Innovation Zone	
	Suburban Activity Centre Zone	
	Suburban Business Zone	
	Suburban Main Street Zone	
	Urban Activity Centre Zone	
	Urban Corridor (Boulevard) Zone	
	Urban Corridor (Business) Zone	
	Urban Corridor (Living) Zone	
	Urban Corridor (Main Street ) Zone	
	Urban Neighbourhood Zone	

## Waste Treatment and Management Facilities

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Mitigation of the potential environmental and amenity impacts of waste treatment and management facilities.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
PO 1.1  Waste treatment and management facilities incorporate separation distances and attenuation measures within the site between waste operations areas (including all closed, operating and future cells) and sensitive receivers and sensitive environmental features to mitigate off-site impacts from noise, air and dust emissions.	DTS/DPF 1.1  None are applicable.
Soil and Water Protection	
PO 2.1  Soil, groundwater and surface water are protected from contamination from waste treatment and management facilities through measures such as: <ul style="list-style-type: none"> <li>(a) containing potential groundwater and surface water contaminants within waste operations areas</li> <li>(b) diverting clean stormwater away from waste operations areas and potentially contaminated areas</li> <li>(c) providing a leachate barrier between waste operations areas and underlying soil and groundwater.</li> </ul>	DTS/DPF 2.1  None are applicable.
PO 2.2  Wastewater lagoons are set back from watercourses to minimise environmental harm and adverse effects on water resources.	DTS/DPF 2.2  Wastewater lagoons are set back 50m or more from watercourse banks.
PO 2.3  Wastewater lagoons are designed and sited to: <ul style="list-style-type: none"> <li>(a) avoid intersecting underground waters;</li> <li>(b) avoid inundation by flood waters;</li> <li>(c) ensure lagoon contents do not overflow;</li> <li>(d) include a liner designed to prevent leakage.</li> </ul>	DTS/DPF 2.3  None are applicable.
PO 2.4  Waste operations areas of landfills and organic waste processing facilities are set back from watercourses to minimise adverse impacts on water resources.	DTS/DPF 2.4  Waste operations areas are set back 100m or more from watercourse banks.
Amenity	
PO 3.1  Waste treatment and management facilities are screened, located and designed to minimise adverse visual impacts on amenity.	DTS/DPF 3.1  None are applicable.
PO 3.2  Access routes to waste treatment and management facilities via residential streets is avoided.	DTS/DPF 3.2  None are applicable.
PO 3.3  Litter control measures minimise the incidence of windblown litter.	DTS/DPF 3.3  None are applicable.

PO 3.4	DTS/DPF 3.4
Waste treatment and management facilities are designed to minimise adverse impacts on both the site and surrounding areas from weed and vermin infestation.	None are applicable.
Access	
PO 4.1	DTS/DPF 4.1
Traffic circulation movements within any waste treatment or management site are designed to enable vehicles to enter and exit the site in a forward direction.	None are applicable.
PO 4.2	DTS/DPF 4.2
Suitable access for emergency vehicles is provided to and within waste treatment or management sites.	None are applicable.
Fencing and Security	
PO 5.1	DTS/DPF 5.1
Security fencing provided around waste treatment and management facilities prevents unauthorised access to operations and potential hazard to the public.	Chain wire mesh or pre-coated painted metal fencing 2m or more in height is erected along the perimeter of the waste treatment or waste management facility site.
Landfill	
PO 6.1	DTS/DPF 6.1
Landfill gas emissions are managed in an environmentally acceptable manner.	None are applicable.
PO 6.2	DTS/DPF 6.2
Landfill facilities are separated from areas of environmental significance and land used for public recreation and enjoyment.	Landfill facilities are set back 250m or more from a public open space reserve, forest reserve, national park or Conservation Zone.
PO 6.3	DTS/DPF 6.3
Landfill facilities are located on land that is not subject to land slip.	None are applicable.
PO 6.4	DTS/DPF 6.4
Landfill facilities are separated from areas subject to flooding.	Landfill facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Organic Waste Processing Facilities	
PO 7.1	DTS/DPF 7.1
Organic waste processing facilities are separated from the coast to avoid potential environment harm.	Organic waste processing facilities are set back 500m or more from the coastal high water mark.
PO 7.2	DTS/DPF 7.2
Organic waste processing facilities are located on land where the engineered liner and underlying seasonal water table cannot intersect.	None are applicable.
PO 7.3	DTS/DPF 7.3
Organic waste processing facilities are sited away from areas of environmental significance and land used for public recreation and enjoyment.	Organic waste processing facilities are set back 250m or more from a public open space reserve, forest reserve, national park or a Conservation Zone.
PO 7.4	DTS/DPF 7.4
Organic waste processing facilities are located on land that is not subject to land slip.	None are applicable.
PO 7.5	DTS/DPF 7.5
Organic waste processing facilities separated from areas subject to	Organic waste processing facilities are set back 500m or more from

flooding.	land inundated in a 1% AEP flood event.
Major Wastewater Treatment Facilities	
PO 8.1 Major wastewater treatment and disposal systems, including lagoons, are designed to minimise potential adverse odour impacts on sensitive receivers, minimise public and environmental health risks and protect water quality.	DTS/DPF 8.1 None are applicable.
PO 8.2 Artificial wetland systems for the storage of treated wastewater are designed and sited to minimise potential public health risks arising from the breeding of mosquitoes.	DTS/DPF 8.2 None are applicable.

## Workers' accommodation and Settlements

### Assessment Provisions (AP)

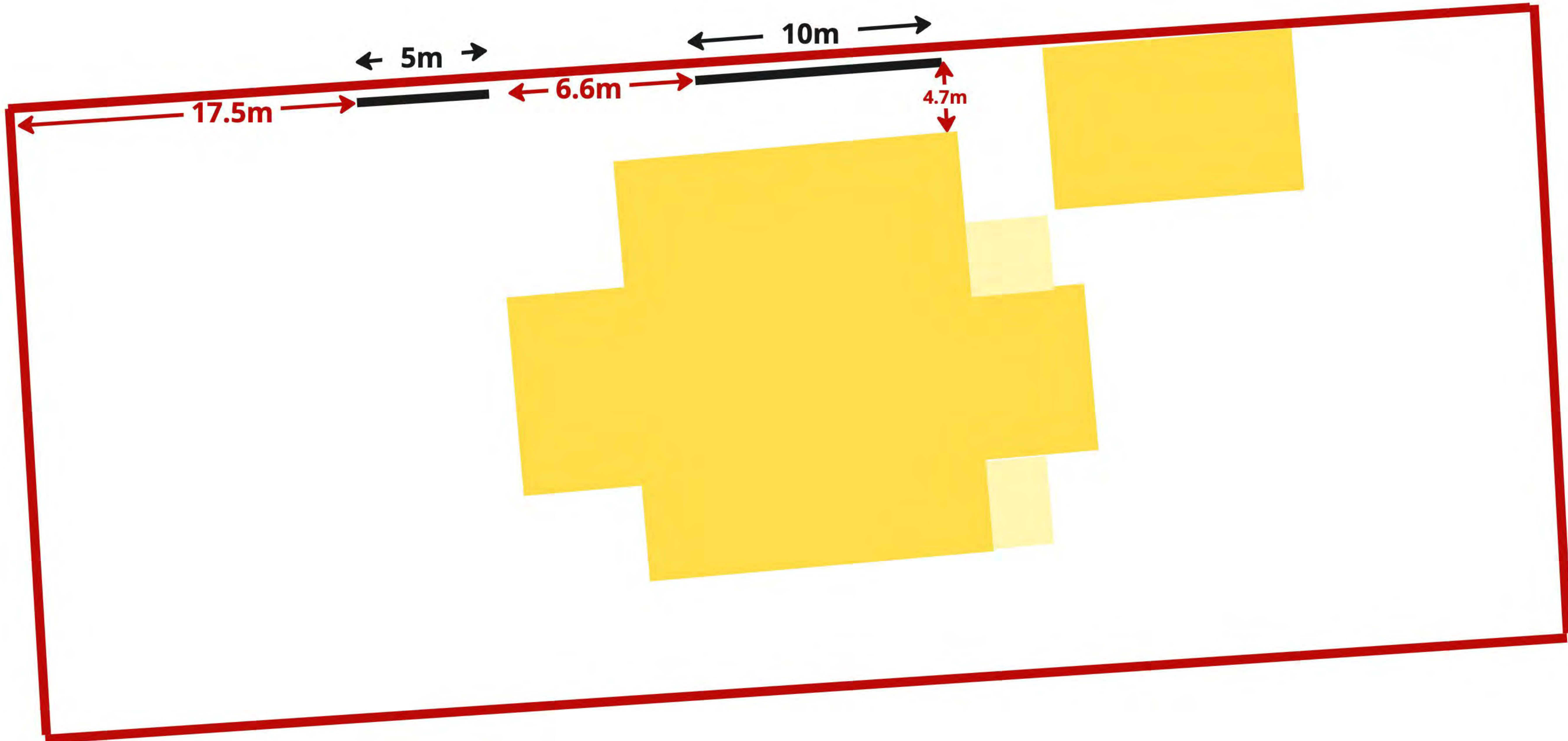
Desired Outcome (DO)

Desired Outcome	
DO 1	Appropriately designed and located accommodation for seasonal and short-term workers in rural areas that minimises environmental and social impacts.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Workers' accommodation and settlements are obscured from scenic routes, tourist destinations and areas of conservation significance or otherwise designed to complement the surrounding landscape.	DTS/DPF 1.1 None are applicable.
PO 1.2 Workers' accommodation and settlements are sited and designed to minimise nuisance impacts on the amenity of adjacent users of land.	DTS/DPF 1.2 None are applicable.
PO 1.3 Workers' accommodation and settlements are built with materials and colours that blend with the landscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Workers' accommodation and settlements are supplied with service infrastructure such as power, water and effluent disposal sufficient to satisfy the living requirements of workers.	DTS/DPF 1.4 None are applicable.

No criteria applies to this land use. Please check the definition of the land use for further detail.



FRONT GARDENMATERIALS USED (STRATCO)FENCE POSTS

50x50x3000

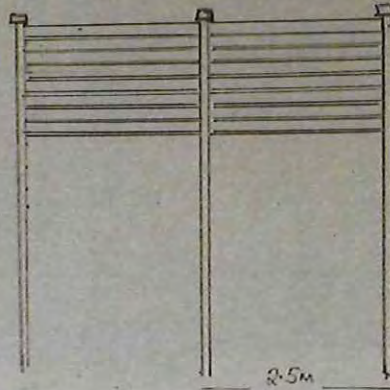
SLATS 2400x60COLOUR - WOODLAND GREY

POSTS - ABOVE GROUND 2.4m

BELOW " 600mm

CAPPING (POSTS)

RAPID SET CONCRETE



SLATS USED

NUMBER = 8

SET AT 5mm GAP

OVERALL LENGTH 5M

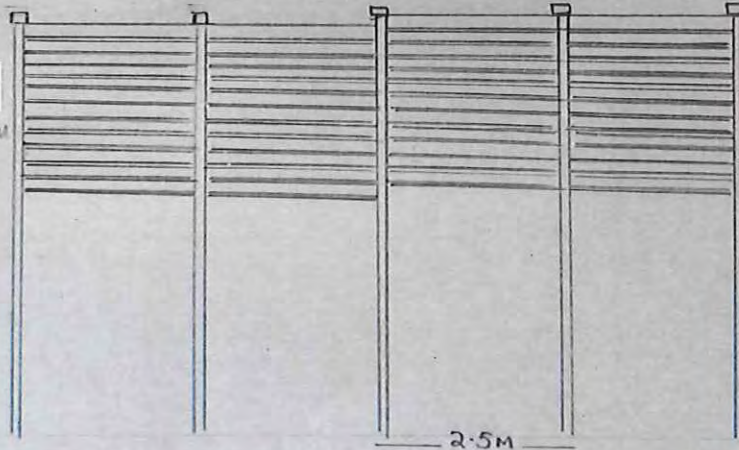
DISTANCE BETWEEN  
FENCE + SCREEN

= 140mm

REAR GARDENHighest point of the rear garden  
screen is 2.65mPOSTS  
ABOVE GROUND

BELOW " 600mm

CAPPING - POSTS



SLATS USED

NUMBER 12

SET AT  
10mm GAPOVERALL LENGTH  
10M.

ORIGINAL BOUNDARY FENCE

HEIGHT 1.8M

COLOURBOND - WOODLAND GREY

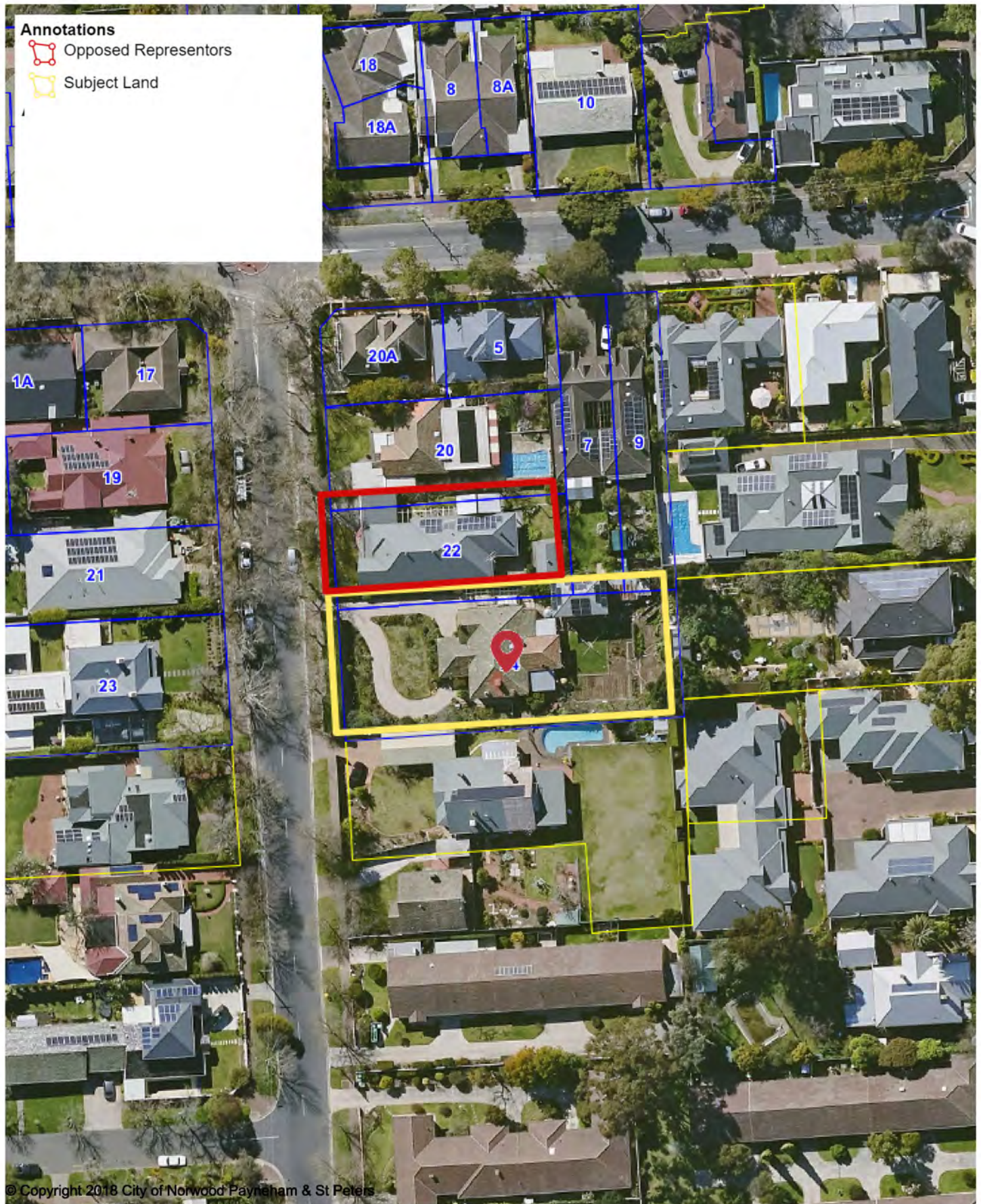
DISTANCE  
BETWEEN FENCE AND  
SCREEN = 140mm







## Attachment 2

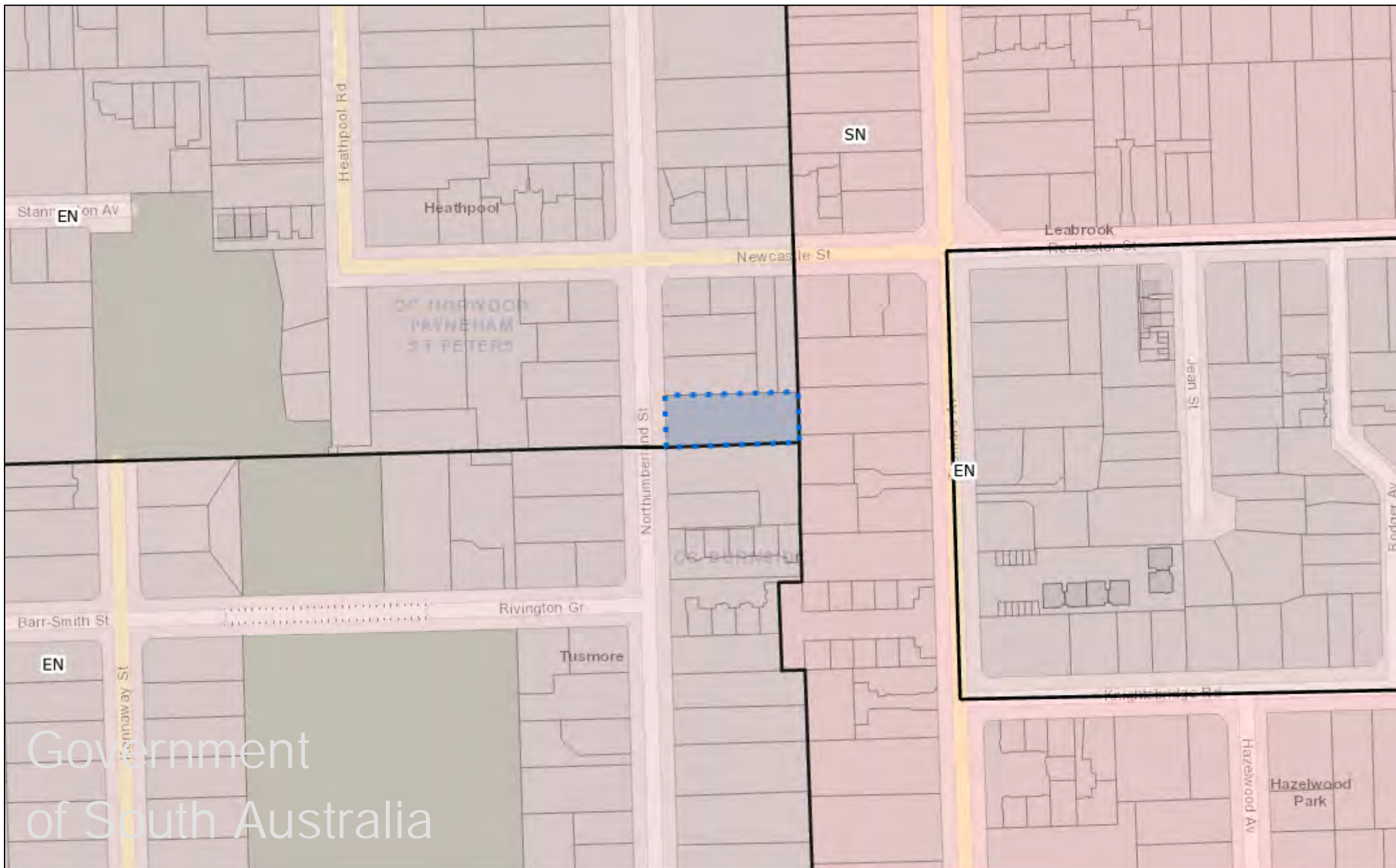


20 m

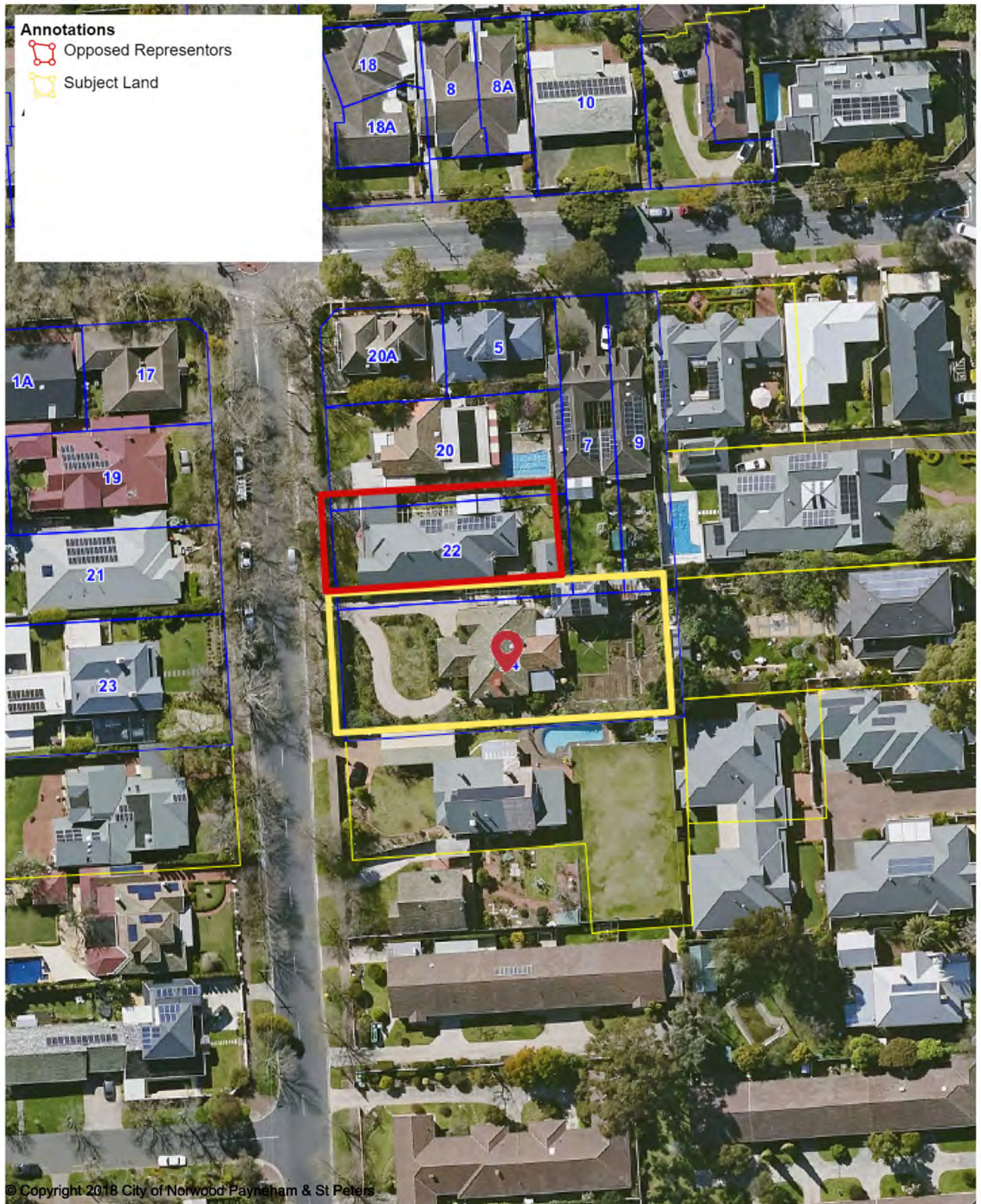


Scale = 1:926.100

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## Attachment 4



20 m



Scale = 1:926.100

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## Details of Representations

### Application Summary

Application ID	25024174
Proposal	Two (2) privacy screens (retrospective)
Location	24 NORTHUMBERLAND ST HEATHPOOL SA 5068

### Representations

#### Representor 1 - Helen Tippet

Name	Helen Tippet
Address	
Submission Date	07/10/2025 12:12 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development
<b>Reasons</b> No objections	

### Attached Documents

Representor 2 - Christopher Tippet

Name	Christopher Tippet
Address	
Submission Date	07/10/2025 12:28 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development
Reasons	

Attached Documents

**Representor 3** - John Esposito

Name	John Esposito
Address	
Submission Date	23/10/2025 09:06 AM
Submission Source	Email
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
<b>Reasons</b> See attached submission	

**Attached Documents**

RepresentationFromJohnEsposito-12586154.pdf

**Tala Aslat**

---

**From:** Natalia John Esposito >  
**Sent:** Tuesday, 21 October 2025 11:27 PM  
**To:** Development Assessment  
**Subject:** RE: Development Application ID : 25021474  
**Attachments:** 25024174 Submission JEsposito 21Oct25 v2.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

You don't often get email from [redacted] . [Learn why this is important](#)

Hi NPSP Council

Please find attached updated document of my objection to the proposed Development.  
The attachments in the document are clearer than the initial document.

Regards

**John Esposito**

---

**From:** Natalia John Esposito  
**Sent:** Tuesday, 21 October 2025 8:41 PM  
**To:** 'developmentassessment@npsp.sa.gov.au' <developmentassessment@npsp.sa.gov.au>  
**Subject:** Development Applicaiton ID : 25021474

Hi NPSP Council

Please find attached, my objection to the proposed Development.

**John Esposito**

## REPRESENTATION ON APPLICATION

*Planning, Development and Infrastructure Act 2016*

<b>Applicant:</b>	Micheal SERGI <i>[applicant name]</i>
<b>Development Number:</b>	<b>25024174</b> <i>[development application number]</i>
<b>Nature of Development:</b>	Construct 2 Privacy Screens <i>[development description of performance assessed elements or aspects of outline consent application]</i>
<b>Zone/Sub-zone/Overlay:</b>	Established Neighbourhood <i>[zone/sub-zone/overlay of subject land]</i>
<b>Subject Land:</b>	24 Northumberland St, Heathpool SA 5068 <i>[street number, street name, suburb, postcode]</i> CT5682/558 F138406AL26 <i>[lot number, plan number, certificate of title number, volume &amp; folio]</i>
<b>Contact Officer:</b>	City of Norwood Payneham & St Peters (Marie Molinaro) <i>[relevant authority name]</i>
<b>Phone Number:</b>	08 83664530 (08 8366 4537) <i>[authority phone]</i>
<b>Close Date:</b>	11.59pm, 22 October 2025 <i>[closing date for submissions]</i>

My name*: John ESPOSITO	My phone number:
My postal address*: Heathpool SA 5068	My email:

\* Indicates mandatory information

My position is:	<input type="checkbox"/> I support the development <input type="checkbox"/> I support the development with some concerns (detail below) <input checked="" type="checkbox"/> I oppose the development
-----------------	--

The specific reasons I believe that consent should be granted/refused are:

I oppose the retrospective approval of the screens for the following reasons:

- Inconsistencies between the application and as constructed screens;
- Structural adequacy of screens;
- Significant loss of character and visual amenity; and
- Significant loss of access to natural sunlight and ventilation to our habitable room window.

**Please see attached document**

*[attach additional pages as needed]*



**Government of South Australia**  
Department for Trade  
and Investment

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why consent should be granted or refused; and
- comment only on the performance-based elements (or aspects) of the proposal, which does not include the:
  - [Click here to enter text.](#) *[list any accepted or deemed-to-satisfy elements of the development].*

I:	<input checked="" type="checkbox"/> wish to be heard in support of my submission*
	<input type="checkbox"/> do not wish to be heard in support of my submission
By:	<input checked="" type="checkbox"/> appearing personally
	<input type="checkbox"/> being represented by the following person: <a href="#">Click here to enter text.</a>

*\*You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission*

Signature:



Date: 21 October 2025

Return Address: Po Box 204, Kent Town SA 5071 *[relevant authority postal address]* or

Email: townhall@npsa.gov.au (mmolinaro@npsa.gov.au) *[relevant authority email address]* or

Complete online submission: [plan.sa.gov.au/have\\_your\\_say/notified\\_developments](http://plan.sa.gov.au/have_your_say/notified_developments)

Reference: Application ID: **25024174**  
 Subject Land: 24 NORTHUMBERLAND ST HEATHPOOL SA 5068

I, **John Esposito** of , Heathpool, make this written submission in relation to Development Application ID 25024174, which seeks retrospective approval for the construction of two (2) privacy screens at 24 Northumberland Street, Heathpool. I also wish to be heard by the CAP.

I oppose the retrospective approval of the screens for the following reasons:

- Inconsistencies between the application and as constructed screens;
- Structural adequacy of screens;
- Significant loss of character and visual amenity; and
- Significant loss of access to natural sunlight and ventilation to our habitable room window.

The two (2) privacy screens subject of this application are in situ and abut (within 60mm of) our common side boundary fence. The application refers to the screens as 'Front Garden' and 'Rear Garden'; I refer to each in the same manner.

#### **REAR GARDEN**

Summary of proposal – *to install screen to a maximum of 750mm above fence height to a maximum total height of 2400mm for a length of 10m.*

The constructed screen ranges from 720mm – 870mm above the existing fence, as measured. The combined height from within our property is 2490mm – 2650mm from the top of an approximate 300mm concrete plinth located below, resulting in an overall height of 2950mm not the applied for 2400mm.

There is not a discernible difference in existing adjacent ground levels. This demonstrates inconsistencies between the application and as constructed structures (Refer sketch diagram at Attachment 1).

Further, the structural adequacy of the unauthorised structure has not been confirmed and therefore the potential for it to compromise our common fence and concrete plinth is heightened.

The height of the screen (to 2950mm above existing adjacent ground level) is excessive, unsightly and unnecessary given the existing fence maintains privacy having regard PO 9.1 and the 1.5m visual privacy requirements applicable to windows and balconies by PO 10.1 and 10.2. The following picture demonstrates the imposing structure from our side (22 Northumberland St):

**Image 1**



Further, the proposal results in approximately 30m (to 35m) of structures approximately 3m in height within 60mm of the side boundary. This is excessive, unreasonable and is not supported by a Performance Outcome, noting PO 4.1 seeks buildings to be sited, orientated and designed to maximise natural sunlight access and ventilation to main activity areas, **habitable rooms**, common areas and **open spaces**.

I also note that there is limited opportunity to soften the structure with plants given:

- a) it is located on Sergi land, and
- b) we have our clothes lines on this side.

I ask that the unauthorised 'rear garden' privacy screen be removed.

Alternatively, if the Panel is of mind to support a screen in this area, I ask that it be alternatively fixed to the northern side of the existing pergola structure on-site, which is setback approximately 1500mm from our common boundary fence (refer below images 2 and 3) to mitigate adverse impacts.

**Image 2** (Source: Google earth)



**Image 3** highlighting pergola/carport area (Source: Google earth)



### **FRONT GARDEN**

Summary of proposal – *to install screen to a maximum of 750mm above fence height to a maximum total height of 2400mm for a length of 5m.*

This screen is of significant concern given its size and proximity to our bedroom window, as can be seen in the image below (Image 4), and sketch diagram at Attachment 2. The height and length of the screen exceeds the size of this window and has significantly reduced our access to natural sunlight and ventilation. Further, it is visually dominant and encloses our property.

The unauthorised structure is excessive and unreasonable and is not supported by a Performance Outcome, noting the proposal does not achieve PO 4.1, which seeks buildings to be sited, orientated and designed to maximise natural sunlight access and ventilation to main activity areas, **habitable rooms**, common areas and open spaces, and/or PO 9.1, which requires fences, walls and retaining walls to be of sufficient height to maintain privacy and security without unreasonably impacting visual amenity of adjoining lands access to sunlight.

**Image 4** Front Garden Screen (Source: Sergi application)



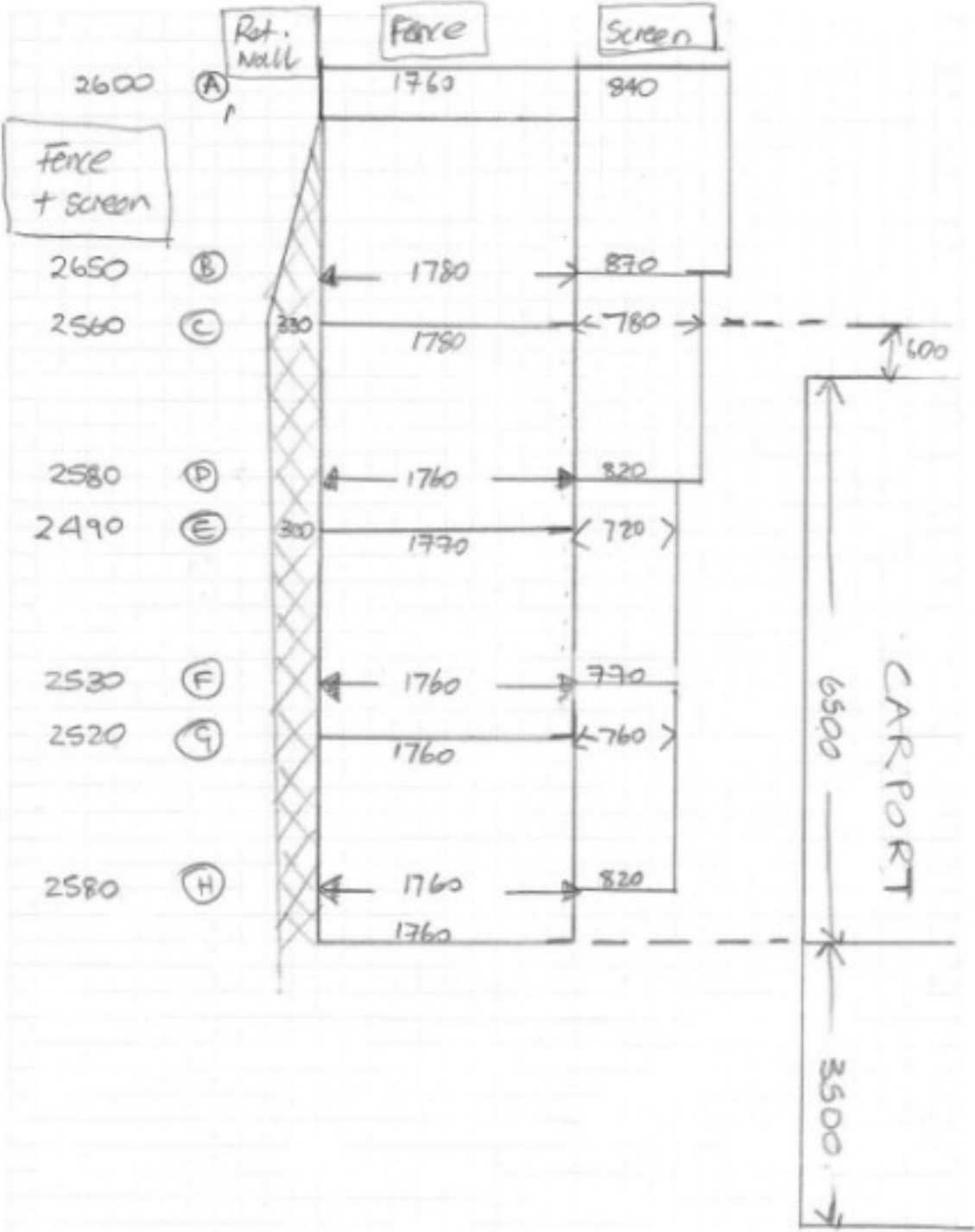
The existing fence is in good condition and provides appropriate visual privacy to both properties. Therefore, there is no reasonable justification to support the unauthorised screen in this location.



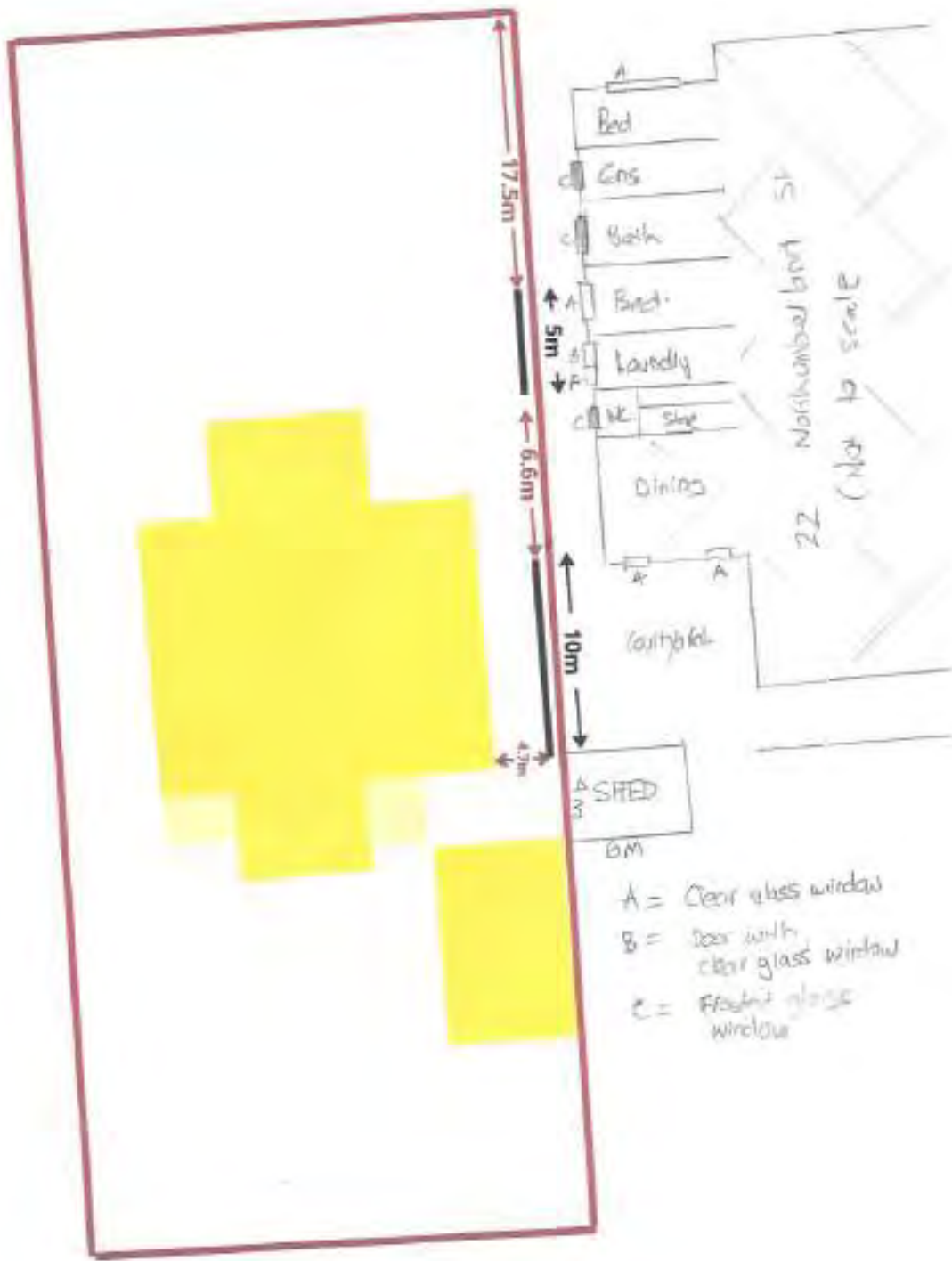
John Esposito

21 October 2025

Attachment 1



Attachment 2



**Representor 4** - Natalia Esposito

Name	Natalia Esposito
Address	
Submission Date	23/10/2025 09:09 AM
Submission Source	Email
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
<b>Reasons</b> See attached Submission	

**Attached Documents**

RepresentationFromNataliaEsposito-12586214.pdf

## Tala Aslat

---

**From:** Natalia John Esposito < >  
**Sent:** Tuesday, 21 October 2025 11:18 PM  
**To:** Development Assessment  
**Cc:** Esposito, Natalia (DIT)  
**Subject:** Development Application ID : 25021474  
**Attachments:** ID 25024174 24 Northumberland st Heathpool (NE submission signed).pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

You don't often get email from [redacted] . [Learn why this is important](#)

Hi NPSP Council

Please find attached, my objection to the proposed Development.

**Natalia Esposito**

## REPRESENTATION ON APPLICATION

*Planning, Development and Infrastructure Act 2016*

<b>Applicant:</b>	Micheal SERGI <i>[applicant name]</i>
<b>Development Number:</b>	<b>25024174</b> <i>[development application number]</i>
<b>Nature of Development:</b>	Construct 2 Privacy Screens <i>[development description of performance assessed elements or aspects of outline consent application]</i>
<b>Zone/Sub-zone/Overlay:</b>	Established Neighbourhood <i>[zone/sub-zone/overlay of subject land]</i>
<b>Subject Land:</b>	24 Northumberland St, Heathpool SA 5068 <i>[street number, street name, suburb, postcode]</i> CT5682/558 F138406AL26 <i>[lot number, plan number, certificate of title number, volume &amp; folio]</i>
<b>Contact Officer:</b>	City of Norwood Payneham & St Peters (Marie Molinaro) <i>[relevant authority name]</i>
<b>Phone Number:</b>	<i>[authority phone]</i>
<b>Close Date:</b>	11.59pm, 22 October 2025 <i>[closing date for submissions]</i>

My name*: Natalia ESPOSITO	My phone number:
My postal address*: Heathpool SA 5068	My email:

\* Indicates mandatory information

My position is:	<input type="checkbox"/> I support the development <input type="checkbox"/> I support the development with some concerns (detail below) <input checked="" type="checkbox"/> I oppose the development
-----------------	--

<p>The specific reasons I believe that consent should be refused following reasons:</p> <ul style="list-style-type: none"> <li>• Noncompliance with requirements of Planning and Design Code Part 2 for Established Neighborhood Zone.</li> <li>• Inconsistencies between the application and as constructed screens;</li> <li>• Structural (in)adequacy of screens;</li> <li>• Significant loss of area character and visual amenity; and</li> <li>• Significant loss of access to natural sunlight and ventilation to our habitable room window and laundry.</li> </ul>
---



**Government of South Australia**  
Department for Trade  
and Investment

**Please see attached document**

[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why consent should be granted or refused; and
- comment only on the performance-based elements (or aspects) of the proposal, which does not include the:
  - [Click here to enter text.](#) [list any accepted or deemed-to-satisfy elements of the development].

I:	<input checked="" type="checkbox"/> wish to be heard in support of my submission*
	<input type="checkbox"/> do not wish to be heard in support of my submission
By:	<input checked="" type="checkbox"/> appearing personally
	<input type="checkbox"/> being represented by the following person: <a href="#">Click here to enter text.</a>

\*You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission

Signature: N. Esposito Date: 21 October 2025

Return Address: Po Box 204, Kent Town SA 5071 [relevant authority postal address] or

Email: townhall@npsp.sa.gov.au (mmolinaro@npsp.sa.gov.au) [relevant authority email address]  
or

Complete online submission: [plan.sa.gov.au/have\\_your\\_say/notified\\_developments](http://plan.sa.gov.au/have_your_say/notified_developments)

Reference: Application ID: **25024174**

Subject Land: 24 NORTHUMBERLAND ST HEATHPOOL SA 5068

Title ref: CT 5682/558 , Plan Parcel: F138406 AL26

Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

I Natalia Esposito of Heathpool SA 5068 make this written submission in relation to Development Application ID 25024174, which seeks retrospective approval for the construction of two (2) privacy screens at 24 Northumberland Street, Heathpool.

I would like to express my desire to be heard before the Planning Development panel, to attend the meeting where a decision on this development is made.

I would like to submit my representation and oppose to Development Application ID: 25024174 for proposed Two (2) privacy screens (existing) at 24 Northumberland St Heathpool SA 5068 for the following reasons:

- Noncompliance with requirements of Planning and Design Code Part 2 for Established Neighborhood Zone.
- Inconsistencies between the application and as constructed screens;
- Structural (in)adequacy of screens;
- Significant loss of area character and visual amenity; and
- Significant loss of access to natural sunlight and ventilation to our habitable room window and laundry.

## 1. General Comments:

- 1.1. The two (2) privacy screens at 24 Northumberland St Heathpool do not comply with requirements of *Planning and Design Code Part 2 for Established Neighborhood Zone*. I have attached relevant references in section 4 below.
- 1.2. Incorrect information and sizes were provided in the Development Application ID: 25024174.
- 1.3. There has been no consideration given to the location of our house at Northumberland St, like set down and set on front in comparison to the house at 24 Northumberland Street. Their actual house was built on higher grounds and far back in the property, however our house is set down about 300 to 400mm.
- 1.4. There has been no consideration of the retaining wall and concrete plinth on our side vary between 100 to 300mm high and 1800mm fence on top, in total 2100mm high fence when considering the impacts of the screen from our side. Proposed Rear Privacy Screen is almost the same height as our eaves in total 3 m height, and it is imposing. (Refer Images 3, 4, 5 and 6)
- 1.5. There has been no consideration for the impact on our quality of life. Proposed Front privacy screen affecting natural light and ventilation of our main bedroom and laundry (Refer Image 10) and rear screen effecting our dining room (Refer Image 4). Proposed screens finished in level or higher to our windows at main bedroom, laundry and dining room and impacting access to natural light. I have attached floor plan of our house and effected windows highlighted in orange (Refer Image 11).

- 1.6. Not all existing structures and buildings have been shown and identified in application plan. The total length of buildings on the boundary exceeds 11.5m and: there is existing garage of up to 11m long and our garden shed of 4m plus proposed Rear Garden Screens of 10m, we end up with a continuous boundary structure around 25m. Also, I understand that there is a 5m chicken shed, attached to the back of garage, bringing the total continues boundary structures to approximately 30m. Additional Front Garden 5m screen make boundary structures of 35 meters long on this boundary (Refer Image 1, 2 and 11).

I have attached a few photos to support my comments and objections (Refer Attachment).

## 2. Rear Garden Privacy Screen Comments

The rear garden privacy screen dimensions as specified in Application ID: 25024174 and measured from our side are different, and don't comply and exceed the requirements set in Planning and Design Code as follows:

- 2.1. Posts above ground (as measured on side) are up to 2.7m high and not 2.4m per the application.
- 2.2. As per Application posts size specified 50x50x3000 mm. Therefore, given posts are around 2700 high above the ground level, we can conclude that they would only be around 300mm into the ground. Further, as they are installed within 60mm of the fence and retaining wall, I contend that they do not have sufficient footing size to be secure and safe. As the posts have been installed banked up against our retaining wall, we are further concerned that these posts will fail and damage the existing retaining wall (Refer Images 3, 4, 5 and 6).
- 2.3. Distance between fence and screen are only 50-60mm (not 100mm as per application) – however, as per *PO 8.1 and DTS/DPF 8.1 Side Boundary Setback*, distance should be at least 900mm from boundary line (Refer Image 8).
- 2.4. Overall extension over boundary fence is not 750 – but rather extends up to 870mm. Proposed Rear Privacy Screen is almost the same height as our house eaves and finish up in total 3m height above natural ground on our side, and it is imposing (Refer Images 3, 4, 5 and 6).
- 2.5. Total length of buildings on the boundary exceeds a length of 11.5m. The existing garage of up to 11m long and 5m chicken shed plus 4m our garden shed plus proposed Rear Garden Screens of 10m and Front Garden Screen of 5m (Refer Images 1, 2 and 11).

All dimensions of the proposed rear screen do not comply with the Planning and Design Code and Development Application ID: 25024174 should be rejected and screens should be removed ASAP, before they damage our property and/or cause personal injury when they fail.

## 3. Front Garden Privacy Screen Comments

- 3.1. Front garden privacy screens excessively blocks access to natural light and ventilation to our main bedroom and laundry; the screen is higher than our windows (Refer Image 10).

- 3.2. I do not see reasonable justifications for proposed front garden screen, as their house is located higher than our house and further back from the front, with no windows or doors and there is no privacy issue. I would suggest the front screen creates nuisance (*Refer PO 6.2 and PO 11.1 and DTS/DPF 11.1 Ancillary buildings and structure*). Also, Front screen detracts from the streetscape and effect appearance of buildings on the site and neighboring properties (*Refer Image 7*).
- 3.3. The appearance of development as viewed from public roads is not sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality (*PO 10.2 Appearance*), and not consistent with character of the area (*Refer Image 7*).
- 3.4. Our house has 5 windows on the Southern side and 3 of 5 windows have obscure glass and one has plantation shutters and sheer curtains. However, property at 24 Northumberland Street hasn't got obscure glass windows on their two-story building. Perhaps they should install obscure glass or privacy screens on these windows.
- 3.5. Their garden has established trees and bushes, which previously were much higher than the fence. Trees and bushes were trimmed prior to council inspection, and they will grow back and provide green screening and overgrow the screen and potentially will provide more shadowing effect on our property. However, on our side of fence we have no space for plants and are unable to hide the proposed screen (*Refer Image 7 and 9*). Please note, we never oppose their plants and always complement their garden. (*refer photo in application by Mr. Sergi – Image 7 and 9*).
- 3.6. Front garden Screen seen from the street and created Nuisance (*Refer PO 6.2, see photos attached – Image 7 and 9*) and is inconsistent with character of the area and create nuisance, and impact adversely on existing buildings of both properties (*Refer Image 7*).
- 3.7. The existing fence is from 1800mm to 2100mm high and in good condition and provides appropriate visual privacy to both properties for a while before. Therefore, there is no reasonable justification to support the proposed screen in this location (*Refer Image 7 and 9*).

I have attached a sketch of our house and windows in relation to the proposed screen and house at 24 Northumberland Street (*Refer Image 11*).

I suggest that the Proposed Privacy Screens are inconsistent with the requirements of Planning and Design Code Part 2 for Established Neighborhood Zone and Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF).

Furthermore, the location and size of the proposed screens do not comply with the Planning and Design Code and Development Application ID: 25024174 should be rejected and screens should be removed ASAP, before they damage our property and/or cause personal injury when they fail.

#### 4. Planning and Design Code Reference

I suggest that the Privacy Screen does not comply with requirements of Planning and Design Code. In particular, I draw attention to the following sections:

I. PO 7.1 and DTS/DPF 7.1 Boundary Walls

*Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.*

*Side boundary walls do not: exceed 3.2m in wall height from the lower of the natural or finished ground level; **exceed 8m in length**; exceed a maximum 45% of the length of the boundary; encroach within 3m of any other existing or proposed boundary walls on the subject land.*

II. PO 8.1 and DTS/DPF 8.1 Side Boundary Setback.

*Buildings are set back from side boundaries to provide:*

- *separation between buildings in a way that complements the established character of the locality*
- *access to natural light and ventilation for neighbors.*
- *Where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm*

III. PO 10.2 Appearance.

*The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.*

IV. PO 11.1 and DTS/DPF 11.1 Ancillary buildings and structures.

*Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighboring properties.*

*Ancillary buildings and structures:*

*if situated on a boundary (not being a boundary with a primary street or secondary street), a length not exceeding 8m unless:*

*a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent*

*will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure*

*have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end), and where located to the side of the associated dwelling, have a wall height or post height no higher than the wall height of the associated dwelling.*

V. PO 6.2 Development maintains the valued landscape pattern and characteristics that contribute to the character area, except where they compromise safety, create nuisance, or impact adversely on existing buildings or infrastructure.

ATTACHMENT

Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8

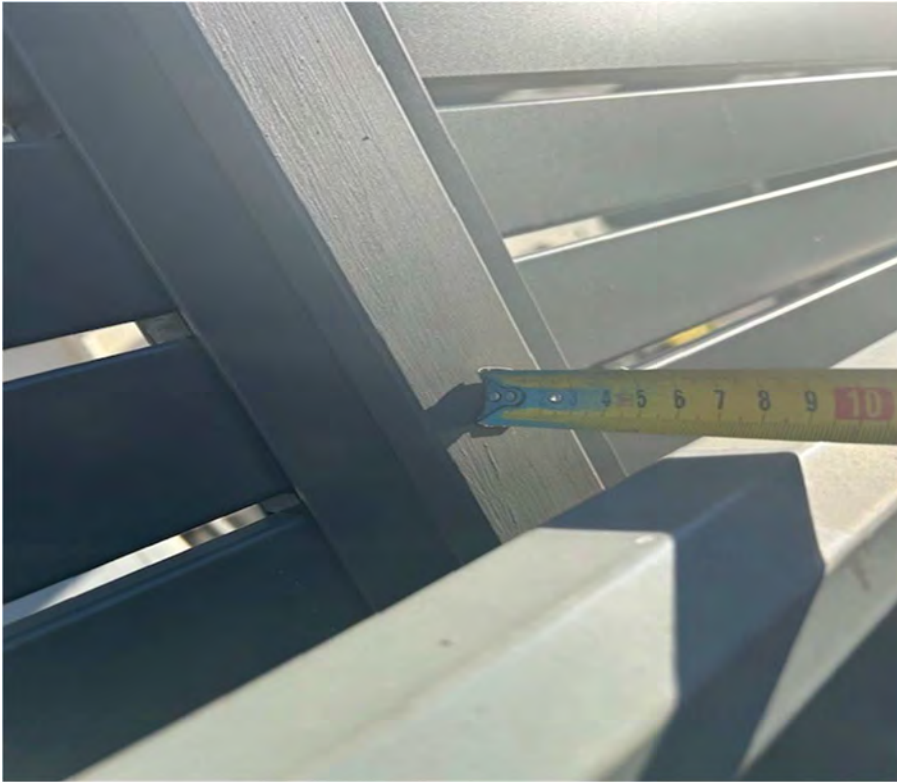


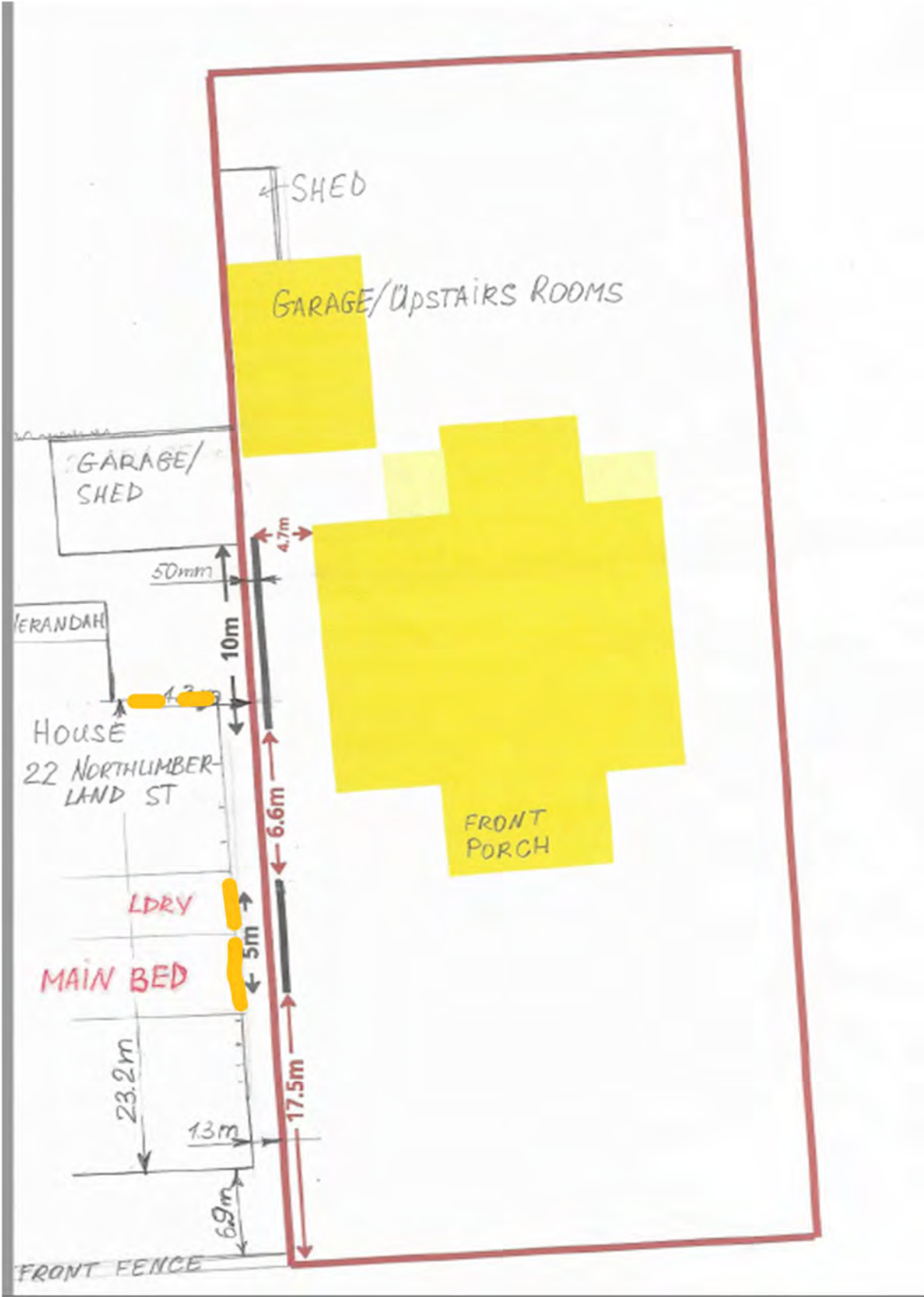
Image 9



Image 10



Image 11



We wish the following notes to be made available to Plan SA and Council officers.

The matter arose as a result of Mr J Esposito erecting a post in the middle of his courtyard approximately 3 metres high, and mounting a surveillance camera which he aimed directly into our property and was clearly visible from inside our home, namely two bedrooms, kitchen and living areas.

Obviously, if we could see the camera from inside our home, logically Mr Esposito was also able to see (and film) us. We found this to be a significant invasion of our privacy.

We also continue to have another of Mr Esposito's cameras pointing at us every time we exit and enter our driveway gate, which is the only access to our property. Thus Mr Esposito is able to monitor our every movement every time we leave and return to our property.

We initially approached South Australia Police in relation to Mr Esposito's cameras, and we were informed that he can install cameras wherever he wishes on his property, and that they would not get involved unless a crime is committed.

However, we strongly objected to him filming our family, in particular our children and young grandchildren who visit regularly and often stay over in the said bedrooms. We are also very concerned that the surveillance system may also contain an audio facility, and that Mr Esposito could be sitting watching and listening to everything that occurs in our home.

For these reasons, we assumed that we were entitled to protect our privacy and that of our loved ones, and thought that the simplest way was to erect the privacy screens in question. We did not consult Mr Esposito about the erection of the privacy screens, as his invasion of our privacy via the above-mentioned surveillance cameras had all but eroded any neighbourly good will.

We proceeded to engage a builder to erect the screens, which we consider are aesthetically pleasing and complement the existing regulation good neighbour fence. These screens are lightweight aluminium attached to steel posts which are set in quick-set concrete, each post to a depth of 600mm. The structures are not attached to the existing fence at any point, and are free standing.

In an extraordinary turn of events, subsequent to the screens being erected, Mr Esposito thought that it was appropriate to mount yet another surveillance camera on one of the posts supporting the screens, even though this structure was clearly on *our* property, as the structure is not attached to the common boundary fence.

We formally requested (in writing) that Mr Esposito remove this camera within 24-hours, or else we would do so. After 48-hours, the camera was still in place on our property, so we removed it.

Mr Esposito then proceeded to make a police report in relation to our removal of his camera on *our* property.

While we are not sure what Mr Esposito's motivations are with respect to both erecting the surveillance cameras and his subsequent objection to us erecting privacy screens, he has repeatedly acted in a very 'unneighbourly' manner. The Esposito's objections to our very unobtrusive security screens (which again we erected in direct response to their overt invasion of our privacy) is in our view absent of any integrity or validity, as they selectively quote rules and regulations which, may be in existence, but are in this case probably not reasonably applicable. The Esposito's objections to our screens have wasted many hours of both our time and the Council's time, and have also cost us

additional money (further to the money we have already spent in protecting ourselves from Mr Esposito's surveillance cameras).

We, as well as the residents at Northumberland Street (Mr Esposito's adjoining neighbour) have all lived here peacefully for over 50 years, until the Espositos moved in and proceeded to disrupt the neighbourly peace with their privacy invading surveillance equipment.

We look forward to common sense and justice prevailing, and receiving approval for this retrospective application.

In the meantime, we reserve our rights.

Regards

Michael and Catherine Sergi

Photo of camera taken from our bedroom window:



From our driveway:



From our driveway:



Camera attached to our property:



FRONT GARDENMATERIALS USED (STRATCO)FENCE POSTS

50x50x3000

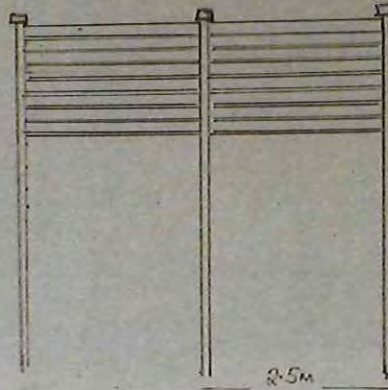
SLATS 2400x60COLOUR - WOODLAND GREY

POSTS - ABOVE GROUND 2.4m

BELOW " 600mm

CAPPING (POSTS)

RAPID SET CONCRETE



SLATS USED

NUMBER = 8

SET AT 5mm GAP

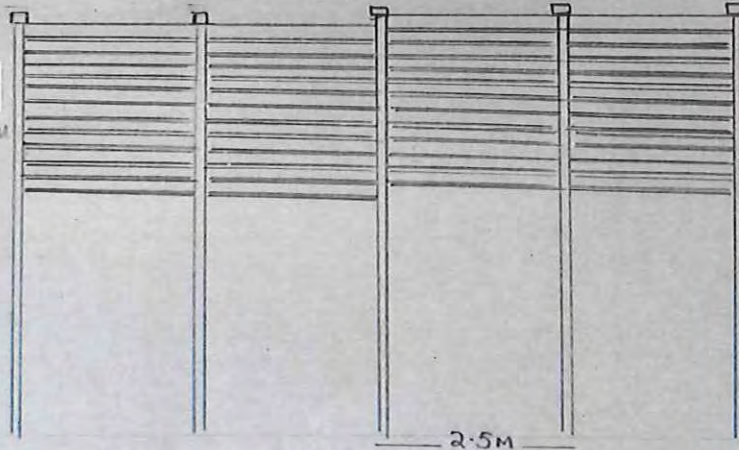
OVERALL LENGTH 5M

DISTANCE BETWEEN  
FENCE + SCREEN

= 140mm

REAR GARDENHighest point of the rear garden  
screen is 2.65mPOSTS  
ABOVE GROUND

BELOW " 600mm

CAPPING - POSTS

SLATS USED

NUMBER 12

SET AT  
10mm GAPOVERALL LENGTH  
10M.

ORIGINAL BOUNDARY FENCE

HEIGHT 1.8M

COLOURBOND - WOODLAND GREY

DISTANCE  
BETWEEN FENCE AND  
SCREEN = 140mm

**5.3 DEVELOPMENT NUMBER – ID 25028766 – JORDAN ORMSBY C/O  
WILLIAMS BURTON LEOPARDI – 54 - 56 FOURTH AVENUE ST PETERS SA 5069**

<b>DEVELOPMENT NO.:</b>	25028766
<b>APPLICANT:</b>	Jordan Ormsby co Williams Burton Leopardi
<b>ADDRESS:</b>	54-56 FOURTH AV ST PETERS SA 5069 54 -56 FOURTH AV ST PETERS SA 5069
<b>NATURE OF DEVELOPMENT:</b>	Dwelling addition including partial demolition of existing building and ancillary structures, excavation of a basement (including garage), reinstatement of tennis court with new lighting and fencing, construction of a swimming pool with associated safety features, fencing, and removal of a regulated tree
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Established Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Historic Area</li> <li>• Heritage Adjacency</li> <li>• Local Heritage Place</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Traffic Generating Development</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Frontage (Minimum frontage for a detached dwelling is 18m)</li> <li>• Minimum Site Area (Minimum site area for a detached dwelling is 600 sqm)</li> <li>• Maximum Building Height (Levels) (Maximum building height is 1 level)</li> <li>• Site Coverage (Maximum site coverage is 50 per cent)</li> </ul>
<b>LODGEMENT DATE:</b>	22 Sept 2025
<b>RELEVANT AUTHORITY:</b>	Assessment panel at City of Norwood, Payneham and St. Peters
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) Version 2025.17 11/09/2025
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Edmund Feary Senior Urban Planner
<b>REFERRALS STATUTORY:</b>	None
<b>REFERRALS NON-STATUTORY:</b>	City Arborist, Matthew Cole Heritage Advisor, David Brown Traffic Engineer, Jayesh Kanani

## CONTENTS:

APPENDIX 1:	Relevant P&D Code Policies	ATTACHMENT 4:	Representation Map
ATTACHMENT 1:	Application Documents	ATTACHMENT 5:	Representations
ATTACHMENT 2:	Subject Land & Locality Map	ATTACHMENT 6:	Response to Representations
ATTACHMENT 3:	Zoning Map	ATTACHMENT 7:	Internal Referral Advice

## DETAILED DESCRIPTION OF PROPOSAL:

The proposed development retains the existing two-storey Local Heritage Place (LHP) on the site, but demolishes a later addition, freestanding garage, two freestanding verandahs, a swimming pool and tennis court. The demolition works also includes some internal demolition within the Local Heritage Place though mainly relating to openings. An existing verandah along the southwestern side of the LHP is also proposed to be removed. Some vegetation removal is also proposed, including removal of one regulated tree, but several trees are proposed to be retained.

A new dwelling addition would then be constructed. This includes excavation of a large basement which would include an 11-car garage, gym and wine cellar. An existing cellar would become a new sauna. On top of the new basement, a new tennis court would be constructed, with new lighting poles and tennis court fencing. The dwelling addition itself includes a double-height void space above the living room, with the portion at the rear of the site being single storey, include a covered outdoor area. There would then be a new swimming pool and pergola constructed.

A new masonry fence is proposed along most of the rear boundary, with a colorbond fence behind the tennis court. The existing masonry and metal infill front fence would be altered with a new driveway opening proposed to facilitate a horseshoe driveway.

## BACKGROUND:

The existing building on the site is a Local Heritage Place known as “Athol Lodge”. The 2002 Heritage Survey of St Peters describes it as:

*“A grand, two storey, asymmetrical villa on a large allotment with a projecting gable ended bay and ornate balcony/verandah. Walls are constructed of bluestone, random coursed with ornate rendered quoins, opening surrounds, and banding. The corrugated iron roof is hipped and gabled. The balcony/verandah is timber framed with cast iron frieze and balustrading. Eaves are bracketed.*

*The building was constructed in 1882 for William Tyndall Sheppard, Auditor General, and was the home of Sir Kerr Grant Professor of Physics at the University of Adelaide from 1912 to 1969.*

*[it is] An unusual and important example of an imposing Italianate villa, uncommon in St Peters”*

The Development Application was submitted on the 15<sup>th</sup> of September 2025, and Planning Consent was lodged on the 22<sup>nd</sup> of September. The application was assessed by Council’s Senior Urban Planner, who sought clarification on several points, but determined that these would not be “substantial” variations to the proposal, and thus public notification could proceed prior to these clarifications being made.

The public notification period ran from 24 October to 13 November 2025. Two representations were submitted in that time (though one was submitted three times).

## SUBJECT LAND & LOCALITY:

### Site Description:

**Location reference:** 54 -56 FOURTH AV ST PETERS SA 5069

**Title ref.:** CT 5952/41      **Plan Parcel:** AL207 D68595      **Council:** THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

**Location reference:** 54 -56 FOURTH AV ST PETERS SA 5069

**Title ref.:**        **Plan Parcel:**        **Council:** THE CITY OF NORWOOD PAYNEHAM AND ST PETERS  
CT 5952/40        AL206 D68595

Shape:	Relatively square, comprising two, rectangular allotments (with the eastern allotment being substantially wider)
Frontage Width:	52.58m
Area:	2407m <sup>2</sup>
Topography:	Mostly flat, slightly slope towards Fourth Avenue
Existing Structures:	Two-storey bluestone mansion (Local Heritage Place) with later, single-storey additions, two freestanding verandahs, freestanding garage, swimming pool and tennis court (with associated fencing)
Existing Vegetation:	Variety of shrubs, trees and groundcovers, including several regulated trees

## Locality

The locality is considered to extend approximately 40m southwest to Stephen Terrace, 100m northeast along Fourth Avenue, including both sides of the street, and dwellings fronting Fifth Avenue. This is illustrated in **Attachment 2**.

The locality is of a generally low density, with sites mostly around 1000m<sup>2</sup>. The locality is entirely residential in terms of land use.

Buildings are predominantly single-storey, with only the subject site having an “outwardly” two-storey building. Being within the Historic Area Overlay, most building are constructed between 1880-1920.

Wide, tree-lined avenues are typical of the wider area, and Fourth Avenue is also typical of this.

Overall, the locality exhibits a very high degree of residential amenity.

## CONSENT TYPE REQUIRED:

Planning Consent

## CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
  - Fences and walls
  - Fence: Code Assessed - Performance Assessed
  - Other - Residential - Tennis Court Lighting: Code Assessed - Performance Assessed
  - Demolition
  - Dwelling alteration or addition
  - Dwelling addition: Code Assessed - Performance Assessed
  - Swimming pool or spa pool and associated swimming pool safety features: Code Assessed - Performance Assessed
  - Partial demolition of a building or structure: Code Assessed - Performance Assessed
  - Tree-damaging activity: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
  - Code Assessed - Performance Assessed
- **REASON**
  - P&D Code; Local Heritage Place Overlay

## PUBLIC NOTIFICATION

- **REASON**

Development involves the partial demolition of Local Heritage Place

- **LIST OF REPRESENTATIONS**

Given Name	Surname	Address	Position	Wishes to be heard?
Nick	Wilson		Opposed	Yes
Alison and Jonathan	Allan		Supportive, with concerns	No

Mr Wilson, a Planning Consultant, represents a neighbour to the development site who wishes to remain anonymous.

- **SUMMARY**

The two representations are available **Attachment X** and reflect rather different concerns with the proposal.

Alison and Jonathan Allan are primarily concerned by:

- Light spill from tennis court lights (with landscaping suggested to mitigate this);
- Changes to fencing on their shared boundary; and,
- Land stability due to the excavation of the basement.

Mr Wilson's concerns relate to:

- Building height and scale;
- Heritage;
- Vehicle access;
- Lighting impacts;
- Tree damaging activity;
- Stormwater management.

These concerns shall each be addressed in the Planning Assessment below.

## AGENCY REFERRALS

None

## INTERNAL REFERRALS

- City Arborist, Matthew Cole

Council's City Arborist was unable to access the site for a detail inspection to confirm the size of each tree on the property, but understood that there was one regulated tree to be removed. He provided a plan showing the tree's which he understood to be regulated, and those which he understood to be exempt, which is provided in **Attachment 7**. The tree's marked as "unsure" are marked on the plans provided by the applicant as being unregulated, which has been confirmed to be the case.

- Heritage Advisor, David Brown

Council's Heritage Advisor has provided a report which is included in **Attachment 7**. He is broadly supportive of the proposed development, though there are some elements which could be improved. This will be outlined in detail in the Heritage section of the Planning Assessment below.

- Traffic Engineer, Jayesh Kanani

Council's Traffic Engineer reviewed the plans and noted that there was a lack of detail to confirm the suitability or otherwise of the basement carpark.

## PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

### Question of Seriously at Variance

The proposed development comprises a dwelling addition including partial demolition of existing building and ancillary structures, excavation of a basement (including garage), reinstatement of tennis court with new lighting and fencing, construction of a swimming pool with associated safety features, fencing, and removal of a regulated tree. It is located in the Established Neighbourhood Zone. Development of this nature is appropriate within the site, locality or in the subject Zone for the following reasons.

- Detached dwellings are envisaged within the Zone;
- All other development proposed is ancillary to the dwelling.

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

### Land Use

The proposed use of the site remains unchanged in that it would be a detached dwelling (i.e. residential), with a series of ancillary structures. The tennis court would remain on a separate allotment from the dwelling, but given the nature of the vehicle parking underneath, there is little risk of this being separated from the dwelling and used in a manner that is not associated with the dwelling.

### Building Height

The proposed addition is single storey in nature, consistent with the TNV for this area, but the portion above the living area is a double height void with a wall height matching the original two-storey portion of the LHP (approximately 7.5m).

This wall height is not generally consistent with a single storey form, and one representor raised concerns about this. This representor references PO 2.1 of the Local Heritage Place Overlay:

*"Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting."*

Given that the addition is sited entirely behind the two-storey heritage place, it is not considered to dominate it, nor does conceal or obstruct heritage elements. Given its separation from the original building, it is relatively unobtrusive and does not substantially detract from the heritage place's appearance.

Thus, while the addition's height is greater than might ordinarily be envisaged in this area, given it is an addition behind an existing two-storey building, it will not look significantly out of place in the area.

## Heritage and Extent of Demolition

The proposed development is a “light touch” on the fabric of the LHP, with alterations to some of the openings, repainting, and repointing stonework.

One representor was concerned by the removal of the western verandah, saying that this was a key component of the Italianate villa. Council’s Heritage Advisor disagrees, noting:

*“It is my understanding that the side verandah is a later addition, as can be seen with the low height, modern generic replica detailing with no chamfers on posts, no half post on the wall, and non-authentic fascia, modern roof framing, and contemporary brick paving on the floor.*

*I do not know of any similar houses that had inferior side verandahs in this sort of location that were this long and attached to a rear lean-to. If the verandah was a part of the original house design, it would have been more impressive like the front balcony.*

*In my opinion the verandah’s removal is a good outcome for the very reason this representation has raised, there is confusion between what is original and authentic and what is a poor-quality replica addition. The proposed replacement loggia is at least identifiably modern, so in the future this confusion will not exist.”*

The proposed development provides appropriate separation between the original and new building fabric, including a link separating the roof over the double height void space from the original roof. Council’s Heritage Advisor describes it as, “a simple conservative design that respects the existing dwelling”.

The Heritage Advisor’s key concern was the visual impact of the proposed ramp. He describes this as “not a great outcome for the street as it is not really set back behind the dwelling.” While this concern is noted, the width of the opening is relatively limited, it is set 1.8m away from the side of the proposed “loggia”. It is considered that it does not “dominate” the appearance of the LHP, and it would detract from it to an extent that would warrant refusal of the application.

Also noted by the Heritage Advisor were a series of restoration works which could be done to improve the building’s heritage value by restoring non-original elements. While this would be ideal, a Relevant Authority cannot force an Applicant to add to the scope of their Development Application, and the Applicant has chosen not to include these works in this case. Nonetheless, some of the restoration works note generic colours such as “dark grey” rather than specifically stating “woodland grey” for instance. Some kinds of dark grey, such as monument, may be inappropriate, so a Reserved Matter is recommended which would clarify a final schedule of colours.

## Streetscape Appearance

The proposed additions are mostly obscured from the street by the existing building and existing vegetation. The most prominent impact on the streetscape will be the ramp down to the basement car park. The start of the ramp is 10.7m back from the street boundary, but it is slightly forward of the building. Performance Outcome 7.1 of the Design in Urban Areas module states:

*“Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:*

- a) limiting protrusion above finished ground level*
- b) screening through appropriate planting, fencing and mounding*
- c) limiting the width of openings and integrating them into the building structure.”*

These features are indeed present in this case, with the protrusion above ground level of only approximately 1m, but this would be obscured by landscaping and covered by the tennis court.

The ramp opening is set well back from the street and while it is forward of and close to the dwelling, it is relatively narrow at only 3.8m. It is considered that this does not detract from the Local Heritage Place.

The horseshoe driveway is also notable, as it is not typical of this Historic Area, where the Historic Area Statement notes, *"Landscaping around a dwelling, particularly in the front garden, is an important design element."*

Nonetheless, this particular dwelling is a more grand example than most in the Historic Area, and such horseshoe driveways were a feature of such mansions. Thus, the driveway reflects this status as a more substantial dwelling. Council's Heritage Advisor is of the view that this would not detract from the heritage value of the LHP. There is still substantial landscaping forward of the building, so this does not detract from its overall appearance, due to the particular context of this building.

### **Visual Impact on Neighbouring Land**

The section of the addition near the neighbouring property to the east is single storey, though it is relatively tall for a single storey wall at 4.5m. Nonetheless, being set back 1.57m from the boundary its visual impact would not be unreasonable.

The rear setback (which is essentially nil given the wall for the "shed/pool plant" room is on the rear boundary) is substantially less than what is sought by ENZ DPF 9.1. Nonetheless, it is consistent with the pattern of development in the area, where large structures near the laneway boundary are commonplace due to the rear access. ENZ PO 9.1 states:

*"Buildings are set back from rear boundaries to provide:*

- a) separation between buildings in a way that complements the established character of the locality*
- b) access to natural light and ventilation for neighbours*
- c) private open space*
- d) space for landscaping and vegetation."*

As outlined above, it is commonplace for buildings to be located near the rear boundary in this locality, so this does not compromise the established character of the locality. The only neighbour who would be affected by the lack of setback here is on the north-eastern side of the development, so there would not be any significant overshadowing implications, and there is ample private open space and soft landscaping.

For consideration of the fencing, see the fencing section below.

The proposed tennis court lights are very tall, being 7.4m above the level of the tennis court, and therefore over 8m above the neighbouring property. Nonetheless, these are relatively small structures with limited visual impact. Moreover, the adjoining site is oriented towards Stephen Tce and the boundary is approximately 18m from the building, with several ancillary structures between them. While the lighting is a new addition (the current tennis court does not have lighting poles), it is not unreasonable in its visual impact.

### **Light Spill**

Performance Outcome 6.1 of the Interface Between Land Uses module states:

*"External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers)."*

The applicant has provided a light spill diagram which models the lighting intensity in both horizontal and vertical planes. This shows that at the property boundary there will be no more than 3lx.

One representor stated that “no photometric report is provided”, but this light spill diagram was provided during public notification. The applicant is preparing a more formal Obtrusive Lighting Analysis to confirm that the extent of light spill is consistent with the Australian Standard.

Australian Standard 4282:2023 outlines the expected light levels in various areas. The site is considered to be in an A3 Zone or medium district brightness. This would mean an expected vertical illuminance level of 10lx during non-curfew hours, and 2lx in curfew hours. The standard curfew hours are 11pm-6am.

Section 3.3.1.3 of the Standard outlines where measurements of illuminance are to be taken. This outlines that generally, the measurement is to be taken at the centre of a window to a habitable room with a view of the lighting system. Rather than modelling the exact location of buildings on neighbouring property, the model provided measures the levels at the property boundary. As a result, the effective illuminance is likely well within the levels anticipated by the Standard even within curfew hours, but lacking confirmation of this, a condition is recommended that will limit use of the lighting within curfew hours.

### **Fencing and Privacy**

The proposed addition is actually only single storey so the two storey windows of the void space may lead to some perceived overlooking, but given there is no floor behind it there is no reason to apply any privacy treatment. There is no change to the existing upper floor windows, and the new void area does not provide any overlooking opportunities from within the existing dwelling. Thus, there is no privacy impact from the proposed addition itself.

The finished levels on the site are somewhat complicated given the introduction of the basement carpark. The finished level of the tennis court would be some 1.2m above the neighbouring property to the southwest (varying with a natural fall towards the street making this difference higher on the street side). However, the finished levels include a portion between the fence and the tennis court which would retain the existing height, with the existing boundary fencing retained. This would result in an effective fence height of only 800mm from the tennis court, with then a tennis court fence behind up to a height of 3.6m above the tennis court. On its own, this would allow someone standing on the tennis court to easily look over the fence and into the neighbouring property.

The applicant has provided amended plans showing a “privacy screen net” to be attached to the tennis court fencing which would be up to 1.7m above the court level. This is consistent with the height of privacy screening expected for balconies and terraces in Design in Urban Areas DPF 10.2 (b), which is considered a suitable height. A Reserved Matter is recommended which clarifies that the net shall be of a reasonable density to ensure that it does in fact prevent unreasonable overlooking.

The visual impact to the neighbours by what is proposed is not considered unreasonable, as the taller fencing is set back, and is visually permeable for most of its height.

### **Landscaping and Tree Removal**

The plans provided show 34% of the site being soft landscaping compared to the 25% sought by Design in Urban Areas DPF 22.1. However, the extent of soft landscaping shown would mean that there is no paving around the proposed pool, which is somewhat unlikely in practice. Even if that were the case, there is ample remaining area to still satisfy this DPF.

The proposal intends to remove several trees, but only one of these is a regulated tree, though there are several other regulated trees on the site being retained. One of the representors states that “in the absence of an arborist report assessing species, trunk measurements, health, structure and risk, and considering alternatives to removal,

it is not possible to conclude that removal satisfies the Regulated and Significant Tree Overlay policy outcomes that prioritise retention where trees contribute to character, amenity or biodiversity (PO 1.1, 1.3, and 1.4)." This negates the fact that the Relevant Authority is prevented from seeking an arborist's report from the applicant where the tree is only regulated (rather than significant), unless special circumstances apply. It is considered that no such special circumstances do apply here, and thus no arborist's report has been requested here.

Council's City Arborist identified in his inspection (which was from the public realm only) that there are likely four other trees on the site which could be regulated, with several more which may be regulated (though these are less clear and the applicant has suggested that they are not).

Since then, the applicant has provided further information to Council administration that confirms that these other trees are not regulated because they are within 3m of the swimming pool on the site. Thus, the administration is satisfied that only one regulated tree is sought for removal with this application.

The regulated tree shown on the plans to be removed is understood to be a jacaranda tree (*Jacaranda mimosifolia*) with a trunk circumference of under 2m. PO 1.1 of the Regulated and Significant Trees Overlay outlines a series of retention criteria for regulated trees:

*"Regulated trees are retained where they:*

- a) make an important visual contribution to local character and amenity*
- b) are indigenous to the local area and listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species*  
*and/or*
- c) provide an important habitat for native fauna"*

Trees that do not meet this retention test can be removed, regardless of whether it is necessary for reasonable development, risk mitigation or the like.

The tree is not especially large, and given its position, it would only be visible from the subject site, the laneway, and two neighbouring properties. This is not considered sufficient for its contribution to local character and amenity to be "important".

Jacaranda trees are not indigenous to the local area, so it cannot satisfy part b.

Regarding habitat value, it is noted that the tree is not a native species and has not been observed to provide any roosting opportunities beyond what is normal for a tree (e.g. birds sitting on branches). It is therefore considered not to provide an "important" habitat as per PO 1.1 above.

The applicant has indicated that they will plant replacement trees on site, and there is ample space for this to occur. The relevant condition as per Practice Direction 12 is therefore recommended.

While development would occur close to the three regulated palm trees on the eastern side of the site (for the construction of the proposed pergola), it is considered that this is unlikely to damage the trees. Palm trees have more vertical root systems which means that groundwork quite close to these trees is unlikely to impact the tree's roots.

The other known regulated tree on-site is well separated from the proposed works, and is also unlikely to be impacted by the work.

## Vehicle Access and Parking

The proposed basement provides 11 parking spaces; well in excess of the two sought by the Code. In terms of functionality, the basement provides an aisle width of 6.5m, which exceeds the general provisions of the relevant Australian Standard, and the dimensions of the spaces are also larger than is sought by the Australian Standard and Design in Urban Areas DPF 23.1. The ramp down to the basement includes appropriate transition points and the gradients are suitable to accord with Design in Urban Areas DPF 8.2.

The proposal also creates a new crossover from Fourth Avenue, in addition to the retention of the existing crossover.

Design in Urban Areas DPF 23.3 envisages that sites with a frontage of more than 10m may have multiple access points. Given the site's wide frontage, ample on-street parking and verge space for tree planting is retained, and it is therefore considered reasonable to have multiple access points.

While the original version showed very little separation between the proposed crossover and the street tree, the amended version now shows a 3.6m separation from the tree, which is more than sufficient to avoid the tree's Structural Root Zone.

## Stormwater

No specific policy relating to stormwater is relevant to the proposed development. As the permeable area of the site substantially exceeds the expectations of Design in Urban Areas DPF 22.1, it is considered that stormwater volumes are unlikely to be unreasonable.

One representor suggested applying the policies of the Stormwater Management Overlay, but this is only applicable to the construction of new dwellings, not additions to existing dwellings.

As for the disposal of stormwater, levels allow for a flow by gravity to Fourth Avenue, which is necessary as Fifth Lane lacks stormwater infrastructure. The representor suggested that a Siteworks and Drainage Plan should be provided, but given that the levels clearly show that such an arrangement is feasible, it is recommended that this can be suitably addressed by condition.

## Land Stability

A representor expressed concern that the extent of the proposed excavation could lead to issues with the stability of neighbouring land. The only potentially relevant policy is PO 8.5 of the Design in Urban Areas Overlay states:

*"Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability."*

The wording of this seems to only refer to land which is already at risk of landslip, rather than land which may be at risk of landslip during construction.

Section 139 of the *Planning, Development and Infrastructure Act 2016* outlines civil requirements relating to activities which may affect the stability of neighbouring land. An advisory note is recommended to draw the applicant's attention to this, but it is otherwise considered that this can be appropriately managed through Building Consent, as there are no relevant policies in the Planning and Design Code.

## CONCLUSION

The proposed development renews the site while still being relatively sensitive to the existing Local Heritage Place. The height of the proposed addition is noted, but it is consistent with the existing building on the site and therefore will not appear out of character.

The development does not substantially alter the heritage fabric of the building and removes mostly non-original elements including a side verandah. The new development is suitably distinct from the original to avoid confusion.

The proposal includes a replacement tennis court, but the proposed fencing is not expected to be unreasonable in its visual impact while still maintaining privacy, and the proposed lighting is not expected to cause unreasonable light spill.

While one regulated tree would be removed, this tree does not provide an important contribution to local character and amenity, or biodiversity.

Overall, it is considered that the application sufficiently accords with the provisions of the Planning and Design Code to warrant consent.

## RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 25028766, by Jordan Ormsby co Williams Burton Leopardi is granted Planning Consent subject to the following conditions/reserved matters:

### RESERVED MATTERS

Pursuant to Section 102(3) of the *Planning, Development & Infrastructure Act 2016*, the following matter(s) shall be reserved for further assessment prior to the granting of Development Approval. Resolution of the reserved matter(s) and the imposition of any additional conditions is delegated to the Assessment Manager:

#### Reserved Matter 1

A final schedule of colours and materials shall be provided to the reasonable satisfaction of the Assessment Manager prior to the issuing of Development Approval. These shall be consistent with the historic character of the area and of the Local Heritage Place.

NOTE: Further conditions may be imposed on the Planning Consent in respect of the above matters.

Pursuant to Section 127(1) of the *Planning, Development and Infrastructure Act 2016*, the power to impose further conditions of consent in respect of the reserved matter(s) above is delegated to the Assessment Manager.

#### Reserved Matter 2

Details regarding the proposed "privacy screen net" shown on the plans herein approved (titled "Tennis Court Light Diagrams" Revision 3, prepared by Williams Burton Leopardi, dated December 2025) shall be provided to the reasonable satisfaction of the Assessment Manager prior to the issuing of Development Approval. The net shall be of a sufficient density to ensure that it appropriately obscures views to the reasonable satisfaction of the Assessment Manager.

NOTE: Further conditions may be imposed on the Planning Consent in respect of the above matters.

*Pursuant to Section 127(1) of the Planning, Development and Infrastructure Act 2016, the power to impose further conditions of consent in respect of the reserved matter(s) above is delegated to the Assessment Manager.*

## **CONDITIONS**

### **Planning Consent**

#### **Condition 1**

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

#### **Condition 2**

The tennis court lights herein approved are permitted to be used only between the hours of 6:00am and 11:00pm.

#### **Condition 3**

All areas nominated as landscaping or garden areas on the approved plans shall be planted with a suitable mix and density of trees,

shrubs and groundcovers within the next available planting season after the occupation of the premises to the reasonable satisfaction of the Assessment Manager and such plants, as well as any existing plants which are shown to be retained, shall be nurtured and maintained in good health and condition at all times, with any diseased or dying plants being replaced, to the reasonable satisfaction of the Council.

#### **Condition 4**

All stormwater from buildings and hard-surfaced areas shall be disposed of in accordance with recognised engineering practices in a manner and with materials that does not result in the entry of water onto any adjoining property or any building, and does not affect the stability of any building and in all instances the stormwater drainage system shall be directly connected into either the adjacent street kerb & water table or a Council underground pipe drainage system.

Please note that disposal of the stormwater to the adjacent laneway is not permitted and compliance with this condition will only be achieved with all stormwater being directed to the primary street kerb and water table or associated underground pipe drainage system.

#### **Condition 5**

Replacement trees must be planted within 12 months of completion of the development at the following rates:

- i. if the development relates to a regulated tree—2 trees to replace a regulated tree;

Replacement trees cannot be within a species specified under regulation 3F(4)(b) of the Planning, Development and Infrastructure (General) Regulations 2017, and cannot be planted within 3 metres of an existing dwelling or in-ground swimming pool.

## **ADVISORY NOTES**

### **Planning Consent**

#### **Advisory Note 1**

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

#### **Advisory Note 2**

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at [townhall@npsp.sa.gov.au](mailto:townhall@npsp.sa.gov.au). Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

#### Advisory Note 3

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

#### Advisory Note 4

The Applicant is reminded of its responsibilities under the Environment Protection Act 1993, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

#### Advisory Note 5

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the Fences Act 1975 regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

#### Advisory Note 6

The Applicant is advised that construction noise is not allowed:

- 1) on any Sunday or public holiday; or
- 2) after 7pm or before 7am on any other day

#### Advisory Note 7

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the Local Government Act 1999 prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

#### Advisory Note 8

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

#### Advisory Note 9

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

#### Advisory Note 10

If excavating, it is recommended you contact Before You Dig Australia (BYDA) ([www.byda.com.au](http://www.byda.com.au)) to keep people safe and help protect underground infrastructure.

#### Advisory Note 11

The Authority draws the applicant's attention to Section 139 of the Planning, Development and Infrastructure Act 2016, which outlines a process relating to the gaining of access to a neighbouring property where the stability of that land may be affected.

**Address: 54 -56 FOURTH AV ST PETERS SA 5069**

To view a detailed interactive property map in SAPPA click on the map below



### Property Zoning Details

#### Zone

Established Neighbourhood

#### Overlay

Airport Building Heights (Regulated) (*All structures over 110 metres*)  
 Historic Area (*NPSP20*)  
 Heritage Adjacency  
 Local Heritage Place (*6341*)  
 Prescribed Wells Area  
 Regulated and Significant Tree  
 Stormwater Management  
 Traffic Generating Development  
 Urban Tree Canopy

#### Local Variation (TNV)

Minimum Frontage (*Minimum frontage for a detached dwelling is 18m*)  
 Minimum Site Area (*Minimum site area for a detached dwelling is 600 sqm*)  
 Maximum Building Height (Levels) (*Maximum building height is 1 level*)  
 Site Coverage (*Maximum site coverage is 50 per cent*)

### Development Pathways

#### ■ Established Neighbourhood

##### 1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Air handling unit, air conditioning system or exhaust fan
- Brush fence
- Building alterations
- Building work on railway land
- Outbuilding
- Partial demolition of a building or structure
- Private bushfire shelter
- Shade sail
- Solar photovoltaic panels (roof mounted)
- Swimming pool or spa pool and associated swimming pool safety features
- Verandah
- Water tank (above ground)
- Water tank (underground)

## 2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Carport
- Deck
- Outbuilding
- Replacement building
- Temporary accommodation in an area affected by bushfire
- Verandah

## 3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies.

Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Ancillary accommodation
- Carport
- Co-located Housing in the Co-located Housing Overlay
- Deck
- Demolition
- Detached dwelling
- Dwelling addition
- Fence
- Group dwelling
- Land division
- Outbuilding
- Residential flat building
- Retaining wall
- Row dwelling
- Semi-detached dwelling
- Tree-damaging activity
- Verandah

## 4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

## Part 2 - Zones and Sub Zones

### Established Neighbourhood Zone

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	

<p>PO 1.1</p> <p>Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"><li>(a) Ancillary accommodation</li><li>(b) Community facility</li><li>(c) Consulting room</li><li>(d) Dwelling</li><li>(e) Office</li><li>(f) Recreation area</li><li>(g) Shop.</li></ul>

Site coverage			
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <table><tr><td>Site Coverage</td></tr><tr><td>Maximum site coverage is 50 per cent</td></tr></table> <p>In instances where:</p> <p>(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</p> <p>(b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p>	Site Coverage	Maximum site coverage is 50 per cent
Site Coverage			
Maximum site coverage is 50 per cent			
Building Height			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table><tr><td>Maximum Building Height (Levels)</td></tr><tr><td>Maximum building height is 1 level</td></tr></table> <p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</p> <p>In relation to DTS/DPF 4.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer or Maximum Building Height (Meters) Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>	Maximum Building Height (Levels)	Maximum building height is 1 level
Maximum Building Height (Levels)			
Maximum building height is 1 level			
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <p>(a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street</p>		

- or
- (b) meet all of the following:
- (i) do not include any development forward of the front façade building line
  - (ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.

## Primary Street Setback

PO 5.1

Buildings are set back from primary street boundaries consistent with the existing streetscape.

DTS/DPF 5.1

Buildings setback from the primary street boundary in accordance with the following table:

Development Context	Minimum setback
There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	The setback of the existing building.
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	<p>(a) Where the existing building shares the same primary street frontage – the setback of the existing building</p> <p>(b) Where the existing building has a different primary street frontage - no DTS / DPF is applicable</p>
There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	No DTS/DPF is applicable.

For the purposes of **DTS/DPF 5.1**:

- (a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback
- (b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table

## Secondary Street Setback

PO 6.1

Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.

DTS/DPF 6.1

Building walls are set back from the secondary street boundary (other than a rear laneway):

- (a) no less than:

	<p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a building (except for ancillary buildings and structures) on any adjoining allotment is closer to the secondary street, not less than the distance of that building from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>
<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>	Side Boundary Setback
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <p>(a) no less than:</p> <p>(b) in all other cases (i.e., there is a blank field), then:</p> <p>(i) where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm</p> <p>(ii) for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level</p> <p>(iii) for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.</p>
Rear Boundary Setback	
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours</p> <p>(c) private open space</p> <p>(d) space for landscaping and vegetation.</p>	<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <p>(a) 4m for the first building level</p> <p>(b) 6m for any second building level.</p>
Appearance	
<p>PO 10.1</p>	<p>DTS/DPF 10.1</p>

Garages and carports are designed and sited to be discreet and not dominate the appearance of the associated dwelling when viewed from the street.	Garages and carports facing a street (other than an access lane way): <ul style="list-style-type: none"> <li>(a) are set back at least 0.5m behind the building line of the associated dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.</li> </ul>		
PO 10.2  The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.	DTS/DPF 10.2  None are applicable.		
Ancillary buildings and structures			
PO 11.1  Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.	DTS/DPF 11.1  Ancillary buildings and structures: <ul style="list-style-type: none"> <li>(a) are ancillary to a dwelling erected on the same site</li> <li>(b) have a floor area not exceeding 60m<sup>2</sup></li> <li>(c) are constructed, added to or altered so that they are situated at least <ul style="list-style-type: none"> <li>(i) 500mm behind the building line of the dwelling to which they are ancillary</li> <li>or</li> <li>(ii) 900mm from a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> <li>(i) is set back at least 5.5m from the boundary of the primary street</li> <li>(ii) when facing a primary street or secondary street has a total door/opening not exceeding 7m or 30% of the site frontage (whichever is the lesser) when facing a primary street or secondary street</li> </ul> </li> <li>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), a length not exceeding 8m unless: <ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> </li> <li>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary not exceeding 45% of the length of that boundary</li> <li>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure</li> <li>(h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end), and where located to the side of the associated dwelling, have a wall height or post height no higher than the wall height of the associated dwelling</li> <li>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</li> <li>(j) if clad in sheet metal, are pre-colour treated or painted in a non-reflective colour.</li> <li>(k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:</li> <li>(i) a total area as determined by the following table: <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of</th><th>Minimum</th></tr> </thead> </table> </li> </ul>	Dwelling site area (or in the case of	Minimum
Dwelling site area (or in the case of	Minimum		

	<table border="1"> <thead> <tr> <th>residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>201-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p>PO 11.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 11.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p>PO 11.3</p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p>DTS/DPF 11.3</p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p> <p>(b) have a floor area not exceeding the following:</p> <table border="1"> <thead> <tr> <th>Allotment size</th><th>Floor area</th></tr> </thead> <tbody> <tr> <td>≤500m<sup>2</sup></td><td>60m<sup>2</sup></td></tr> <tr> <td>&gt;500m<sup>2</sup></td><td>80m<sup>2</sup></td></tr> </tbody> </table> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the main building to which it is ancillary or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <p>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</p> <p>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</p> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p>	Allotment size	Floor area	≤500m <sup>2</sup>	60m <sup>2</sup>	>500m <sup>2</sup>	80m <sup>2</sup>				
Allotment size	Floor area										
≤500m <sup>2</sup>	60m <sup>2</sup>										
>500m <sup>2</sup>	80m <sup>2</sup>										

	<ul style="list-style-type: none"> <li>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</li> <li>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</li> <li>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</li> </ul>
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Advertisements

DTS/DPF 7.1

Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:

(a)

or

- (b) where no side boundary setback value is returned in (a) above, and except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:
- (i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height
  - (ii) side boundary walls do not:
    - A. exceed 3.2m in wall height from the lower of the natural or finished ground level
    - B. exceed 8m in length
    - C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary
    - D. encroach within 3m of any other existing or proposed boundary walls on the subject land.

## Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
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1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) residential flat building.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:             <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
4. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or</li> <li>2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:             <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
5. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> </ul>	None specified.

<ul style="list-style-type: none"> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) recreation area</li> <li>(k) replacement building</li> <li>(l) retaining wall</li> <li>(m) shade sail</li> <li>(n) solar photovoltaic panels (roof mounted)</li> <li>(o) swimming pool or spa pool and associated swimming pool safety features</li> <li>(p) temporary accommodation in an area affected by bushfire</li> <li>(q) tree damaging activity</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	
<p>6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> <li>(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.</li> </ul>	<p>Except where not undertaken by the Crown, a Council or an essential infrastructure provider.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>8. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
<b>Placement of Notices - Exemptions for Performance Assessed Development</b>	
<p>None specified.</p>	
<b>Placement of Notices - Exemptions for Restricted Development</b>	
<p>None specified.</p>	

## Part 3 - Overlays

### Airport Building Heights (Regulated) Overlay

#### Assessment Provisions (AP)

Desired Outcome (DO)

Heritage Adjacency Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adjacent to State and Local Heritage Places maintains the heritage and cultural values of those Places.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Development adjacent to a State or Local Heritage Place does not dominate, encroach on or unduly impact on the setting of the Place.	DTS/DPF 1.1 None are applicable.
Land Division	
PO 2.1 Land division adjacent to a State or Local Heritage Place creates allotments that are of a size and dimension that enables the siting and setbacks of new buildings from allotment boundaries so that they do not dominate, encroach or unduly impact on the setting of the Place.	DTS/DPF 2.1 None are applicable.

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development which in the opinion of the relevant authority materially affects the context within which the <b>State Heritage Place</b> is situated.	Minister responsible for the administration of the <i>Heritage Places Act 1993</i> .	To provide expert assessment and direction to the relevant authority on the potential impacts of development adjacent State Heritage Places.	Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

### Historic Area Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1  All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1  None are applicable.
Built Form	
PO 2.1  The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1  None are applicable.
PO 2.2  Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2  None are applicable.
PO 2.3  Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3  None are applicable.
PO 2.4  Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4  None are applicable.
PO 2.5  Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5  None are applicable.
Alterations and additions	
PO 3.1  Alterations and additions complement the subject building, employ a contextual design approach and are sited to ensure they do not dominate the primary façade.	DTS/DPF 3.1  Alterations and additions are fully contained within the roof space of an existing building with no external alterations made to the building elevation facing the primary street.
PO 3.2  Adaptive reuse and revitalisation of buildings to support retention consistent with the Historic Area Statement.	DTS/DPF 3.2  None are applicable.
Ancillary development	
PO 4.1  Ancillary development, including carports, outbuildings and garages, complements the historic character of the area and associated buildings.	DTS/DPF 4.1  None are applicable.
PO 4.2  Ancillary development, including carports, outbuildings and garages, is located behind the building line of the principal building(s) and does not dominate the building or its setting.	DTS/DPF 4.2  None are applicable.
PO 4.3	DTS/DPF 4.3

Advertising and advertising hoardings are located and designed to complement the building, be unobtrusive, be below the parapet line, not conceal or obstruct significant architectural elements and detailing, or dominate the building or its setting.	None are applicable.
PO 4.4 Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the associated building.	DTS/DPF 4.4 None are applicable.
Land Division	
PO 5.1 Land division creates allotments that are:  (a) compatible with the surrounding pattern of subdivision in the historic area (b) of a dimension to accommodate buildings of a bulk and scale that reflect existing buildings and setbacks in the historic area	DTS/DPF 5.1 None are applicable.
Context and Streetscape Amenity	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.	DTS/DPF 6.1 None are applicable.
PO 6.2 Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	DTS/DPF 6.2 None are applicable.
Demolition	
PO 7.1 Buildings and structures, or features thereof, that demonstrate the historic characteristics as expressed in the Historic Area Statement are not demolished, unless:  (a) the front elevation of the building has been substantially altered and cannot be reasonably restored in a manner consistent with the building's original style or (b) the structural integrity or safe condition of the original building is beyond reasonable repair.	DTS/DPF 7.1 None are applicable.
PO 7.2 Partial demolition of a building where that portion to be demolished does not contribute to the historic character of the streetscape.	DTS/DPF 7.2 None are applicable.
PO 7.3 Buildings or elements of buildings that do not conform with the values described in the Historic Area Statement may be demolished.	DTS/DPF 7.3 None are applicable.
Ruins	
PO 8.1 Development conserves and complements features and ruins associated with former activities of significance.	DTS/DPF 8.1 None are applicable.

## Historic Area Statements

Statement#	Statement	
Historic Areas affecting City of Norwood, Payneham and St Peters		
NPSP20	<b>The Avenues Historic Area Statement (NPSP20)</b>	
	<p>The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p>	
	Eras, themes and context	Between the late 1870s and 1900, between the 1900s and the 1920s, and inter-war.  Detached dwellings.
	Allotments, subdivision and built form patterns	Historic streetscape created by the regularity of the avenues and the development patterns that have formed around them.  Primary dwelling frontages to streets, not lanes.
	Architectural styles, detailing and built form features	Predominantly single-storey, detached, late Victorian Italianate villas of reasonably substantial proportions.  Elsewhere - the consistent styles of detached late Victorian Italianate villas of reasonably substantial proportions.  Double fronted asymmetrical dwellings are the most common dwelling type, although there are a range of symmetrical dwellings, East Adelaide Company dwellings and some larger villas and mansions.  The double fronted symmetrical and asymmetrical dwellings are an elegant, larger version of the simple colonial cottage with the addition of a projecting wing (in the case of the asymmetrical dwelling), a more elaborate verandah and increased detailing in plaster and render work around openings. The pitch and size of the roof makes this an important design element.  Verandahs along the front elevation are another important element of both the double fronted symmetrical and asymmetrical dwelling.  Some Edwardian style housing (such as Queen Anne and Art Nouveau styles), generally located within the later subdivided areas or on blocks which were re-subdivided from larger allotments.  Joslin portion of this Policy Area - reflects general character, some of the dwelling stock, particularly towards the Lambert Road boundary, graduates into the 1920s style of housing, introducing with it a component of inter-war housing such as bungalows.
	Building height	Predominantly single-storey, up to two storeys in some locations.
	Materials	Bluestone or sandstone dressed and coursed.
	Fencing	Low, open fencing that reflects the period and style of the dwellings. Front fencing (including any secondary street frontage up to the alignment to the main face of the dwelling) generally low in height up to 1.2m (masonry), 1.5m (wrought iron, brush, timber and or wire or woven mesh) and 2m (masonry pillars), allowing views to dwelling.  Timber picket, timber dowelling, masonry and cast iron palisade, or corrugated iron or mini orb within timber framing for cottages, villas and other dwellings built during the Victorian period.  Timber picket, timber pailing, woven crimped wire, or corrugated iron or mini orb within timber framing for Edwardian dwellings.  Timber pailing, wire mesh and timber or tube framing, woven crimped wire, or masonry with galvanised steel ribbon for bungalows, Tudors and inter-war dwellings.  Side and rear fences in traditional materials such as timber, corrugated iron or well-detailed masonry.

Statement#	Statement	
	Setting, landscaping, streetscape and public realm features	Landscaping around a dwelling, particularly in the front garden, is an important design element.  In St Peters, wide tree lined streets, with mature street trees and rear lanes used for vehicular access and garages
	Representative Buildings	Identified - refer to SA planning database.

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Local Heritage Place Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.3 None are applicable.

PO 1.4	DTS/DPF 1.4
Development is consistent with boundary setbacks and setting.	None are applicable.
PO 1.5	DTS/DPF 1.5
Materials and colours are either consistent with or complement the heritage values of the Local Heritage Place.	None are applicable.
PO 1.6	DTS/DPF 1.6
New buildings and structures are not placed or erected between the primary or secondary street boundaries and the façade of a Local Heritage Place.	None are applicable.
PO 1.7	DTS/DPF 1.7
Development of a Local Heritage Place retains features contributing to its heritage value.	None are applicable.
Alterations and Additions	
PO 2.1	DTS/DPF 2.1
Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting.	None are applicable.
PO 2.2	DTS/DPF 2.2
Adaptive reuse and revitalisation of Local Heritage Places to support their retention in a manner that respects and references the original use of the Local Heritage Place.	None are applicable.
Ancillary Development	
PO 3.1	DTS/DPF 3.1
Ancillary development, including carports, outbuildings and garages, complements the heritage values of the Local Heritage Place.	None are applicable.
PO 3.2	DTS/DPF 3.2
Ancillary development, including carports, outbuildings and garages, is located behind the building line and does not dominate the Local Heritage Place or its setting.	None are applicable.
PO 3.3	DTS/DPF 3.3
Advertising and advertising hoardings are designed to complement the Local Heritage Place, be unobtrusive, be below the parapet line, not conceal or obstruct heritage elements and detailing, or dominate the building or its setting.	None are applicable.
PO 3.4	DTS/DPF 3.4
Fencing and gates closer to a street boundary (other than a laneway) than the street elevation of the associated building are consistent with the traditional period, style and form of the Local Heritage Place.	None are applicable.
Land Division	
PO 4.1	DTS/DPF 4.1
Land division creates allotments that: <ul style="list-style-type: none"> <li>(a) maintain the heritage values of the Local Heritage Place, including setting</li> <li>(b) are of a dimension to accommodate new development that reinforces and is compatible with the heritage values of the Local Heritage Place.</li> </ul>	None are applicable.
Landscape Context and Streetscape Amenity	

PO 5.1 Individually heritage listed trees, parks, historic gardens and memorial avenues are retained unless:  (a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short.	DTS/DPF 5.1  None are applicable.
Demolition	
PO 6.1 Local Heritage Places are not demolished, destroyed or removed in total or in part unless:  (a) the portion of the Local Heritage Place to be demolished, destroyed or removed is excluded from the extent of listing that is of heritage value or (b) the structural integrity or condition of the Local Heritage Place represents an unacceptable risk to public or private safety and is irredeemably beyond repair.	DTS/DPF 6.1  None are applicable.
PO 6.2 The demolition, destruction or removal of a building, portion of a building or other feature or attribute is appropriate where it does not contribute to the heritage values of the Local Heritage Place.	DTS/DPF 6.2  None are applicable.
Conservation Works	
PO 7.1 Conservation works to the exterior of a Local Heritage Place (and other features identified in the extent of listing) match original materials to be repaired and utilise traditional work methods.	DTS/DPF 7.1  None are applicable.

### Procedural Matters (PM) - Referrals

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Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

### Prescribed Wells Area Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	

Regulated and Significant Tree Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Tree Retention and Health	
<p>PO 1.1</p> <p>Regulated trees are retained where they:</p> <ul style="list-style-type: none"> <li>(a) make an important visual contribution to local character and amenity</li> <li>(b) are indigenous to the local area and listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species and / or</li> <li>(c) provide an important habitat for native fauna.</li> </ul>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>A tree damaging activity not in connection with other development satisfies (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) tree damaging activity is only undertaken to: <ul style="list-style-type: none"> <li>(i) remove a diseased tree where its life expectancy is short</li> <li>(ii) mitigate an unacceptable risk to public or private safety due to limb drop or the like</li> <li>(iii) rectify or prevent extensive damage to a building of value as comprising any of the following: <ul style="list-style-type: none"> <li>A. a Local Heritage Place</li> <li>B. a State Heritage Place</li> <li>C. a substantial building of value</li> </ul> </li> </ul> <p>and there is no reasonable alternative to rectify or prevent such damage other than to undertake a tree damaging activity</p> <li>(iv) reduce an unacceptable hazard associated with a tree within 20m of an existing residential, tourist accommodation or other habitable building from bushfire</li> <li>(v) treat disease or otherwise in the general interests of the health of the tree and / or</li> <li>(vi) maintain the aesthetic appearance and structural integrity of the tree</li> </li></ul> <p>(b) in relation to a significant tree, tree-damaging activity is avoided unless all reasonable remedial treatments and measures have been determined to be ineffective.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
PO 1.4	DTS/DPF 1.4

<p>A tree-damaging activity in connection with other development satisfies all the following:</p> <ul style="list-style-type: none"> <li>(a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible</li> <li>(b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.</li> </ul>	None are applicable.
Ground work affecting trees	
<p>PO 2.1</p> <p>Regulated and significant trees, including their root systems, are not unduly compromised by excavation and / or filling of land, or the sealing of surfaces within the vicinity of the tree to support their retention and health.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Land Division	
<p>I</p> <p>I</p> <p>:</p> <p>1</p>	

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Stormwater Management Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p>	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings, co-located housing or</p>

- (a) maximise conservation of water resources
- (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded
- (c) manage stormwater runoff quality.

dwelling within a residential flat building:

- (a) includes rainwater tank storage:
  - (i) connected to at least:
    - A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area
    - B. in all other cases, 80% of the roof area
  - (ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m<sup>2</sup>
  - (iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m<sup>2</sup> or greater
  - (iv) with a minimum total capacity in accordance with Table 1
  - (v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank
- (b) incorporates dwelling roof area comprising at least 80% of the site's impervious area

Table 1: Rainwater Tank

Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)
<200	1000	1000
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A
>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Design in Urban Areas

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1 None are applicable.
PO 1.2 Where zero or minor setbacks are desirable, development provides	DTS/DPF 1.2 None are applicable.

shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.	
PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by:  (a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.	DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline.
PO 1.5 The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone.	DTS/DPF 1.5 None are applicable.
Safety	
PO 2.1 Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is designed to differentiate public, communal and private areas.	DTS/DPF 2.2 None are applicable.
PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.	DTS/DPF 2.4 None are applicable.
PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.	DTS/DPF 2.5 None are applicable.
Landscaping	
PO 3.1 Soft landscaping and tree planting are incorporated to:  (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration	DTS/DPF 3.1 None are applicable.

(d) enhance the appearance of land and streetscapes.	
Environmental Performance	
PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.	DTS/DPF 4.1 None are applicable.
PO 4.2 Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.	DTS/DPF 4.2 None are applicable.
PO 4.3 Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.	DTS/DPF 4.3 None are applicable.
Water Sensitive Design	
PO 5.1 Development is sited and designed to maintain natural hydrological systems without negatively impacting:  (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs.	DTS/DPF 5.1 None are applicable.
On-site Waste Treatment Systems	
PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	DTS/DPF 6.1 Effluent disposal drainage areas do not:  (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
PO 7.1 Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as: (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.	DTS/DPF 7.1 None are applicable.
PO 7.2 Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.	DTS/DPF 7.2 None are applicable.
PO 7.3 Safe, legible, direct and accessible pedestrian connections are provided	DTS/DPF 7.3 None are applicable.

between parking areas and the development.	
<p>PO 7.4</p> <p>Street-level vehicle parking areas incorporate tree planting to provide shade, reduce solar heat absorption and reflection.</p>	<p>DTS/DPF 7.4</p> <p>Vehicle parking areas that are open to the sky and comprise 10 or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m.</p>
<p>PO 7.5</p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p>DTS/DPF 7.5</p> <p>Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of:</p> <ul style="list-style-type: none"> <li>(a) 1m along all public road frontages and allotment boundaries</li> <li>(b) 1m between double rows of car parking spaces.</li> </ul>
<p>PO 7.6</p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.</p>	<p>DTS/DPF 7.6</p> <p>None are applicable.</p>
<p>PO 7.7</p> <p>Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.</p>	<p>DTS/DPF 7.7</p> <p>None are applicable.</p>
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
<p>PO 8.2</p> <p>Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> <li>(a) do not contribute to the instability of embankments and cuttings</li> <li>(b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>(c) are designed to integrate with the natural topography of the land.</li> </ul>	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslide or increase the potential for landslide or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>

Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
Site Facilities / Waste Storage (excluding low rise residential development)	
PO 11.1 Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.	DTS/DPF 11.1 None are applicable.
PO 11.2 Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	DTS/DPF 11.2 None are applicable.
PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	DTS/DPF 11.3 None are applicable.
PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	DTS/DPF 11.4 None are applicable.
PO 11.5 For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	DTS/DPF 11.5 None are applicable.

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All residential development	
Front elevations and passive surveillance	
<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"><li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li><li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li></ul>
<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>

Outlook and Amenity	
PO 18.1  Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1  A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
PO 18.2  Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	DTS/DPF 18.2  None are applicable.
Ancillary Development	
PO 19.1  Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties.	DTS/DPF 19.1  Ancillary buildings (excluding ancillary accommodation): (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m <sup>2</sup> (c) are not constructed, added to or altered so that any part is situated: (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour (k) retains a total area of soft landscaping for the entire development site, including any common property, with a

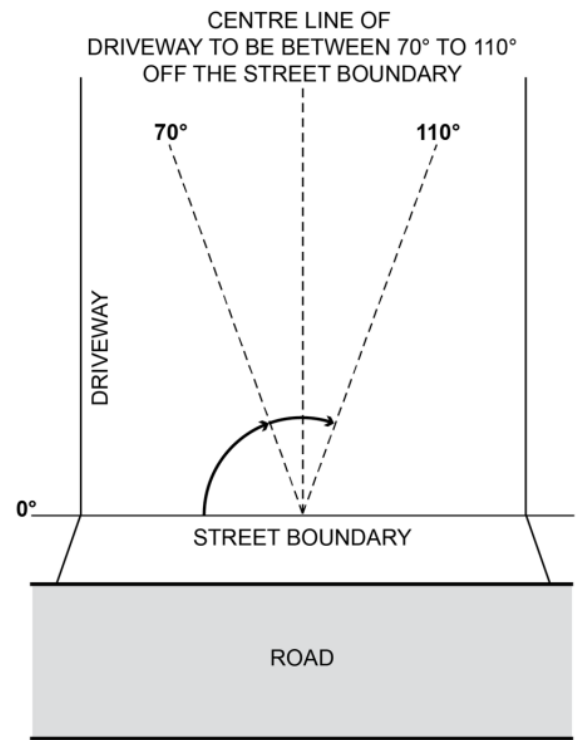
	<p>minimum dimension of 700mm in accordance with (i) or (ii), whichever is less:</p> <p>(i) a total area as determined by the following table:</p> <table> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p>PO 19.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 19.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p>PO 19.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p>DTS/DPF 19.3</p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <p>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>										
<p>PO 19.4</p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p>DTS/DPF 19.4</p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p> <p>(b) have a floor area not exceeding the following:</p> <table> <tr> <th>Allotment size</th><th>Floor area</th></tr> <tr> <td>≤500m<sup>2</sup></td><td>60m<sup>2</sup></td></tr> <tr> <td>&gt;500m<sup>2</sup></td><td>80m<sup>2</sup></td></tr> </table> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the main building to which it is ancillary or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p>	Allotment size	Floor area	≤500m <sup>2</sup>	60m <sup>2</sup>	>500m <sup>2</sup>	80m <sup>2</sup>				
Allotment size	Floor area										
≤500m <sup>2</sup>	60m <sup>2</sup>										
>500m <sup>2</sup>	80m <sup>2</sup>										

	<ul style="list-style-type: none"> <li>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:               <ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> </li> <li>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</li> <li>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</li> <li>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</li> <li>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</li> <li>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</li> </ul>
<p>PO 19.5</p> <p>Ancillary accommodation:</p> <ul style="list-style-type: none"> <li>(a) is sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties</li> <li>(b) is integrated within the site of the dwelling to which it is ancillary and incorporates shared utilities and shared open space.</li> </ul>	<p>DTS/DPF 19.5</p> <p>Ancillary accommodation:</p> <ul style="list-style-type: none"> <li>(a) is ancillary to a dwelling erected on the same site</li> <li>(b) has a floor area not exceeding 70m<sup>2</sup></li> <li>(c) is not constructed, added to, or altered so that any part is situated:               <ul style="list-style-type: none"> <li>(i) in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(d) if situated on a boundary (not being a boundary with a primary street or secondary street), does not exceed a length of 11.5m unless:               <ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> </li> <li>(e) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</li> <li>(f) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</li> <li>(g) has a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)</li> <li>(h) has a roof height where no part of the roof is more than 5m above the natural ground level</li> <li>(i) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour</li> <li>(j) retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (i) or (ii), whichever is less:               <ul style="list-style-type: none"> <li>(i) a total area as determined by the following table:</li> </ul> </li> </ul>

		Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site
		<150	10%
		150-200	15%
		>200-450	20%
		>450	25%
	(ii)	the amount of existing soft landscaping prior to the development occurring.	
	(k)	does not have separate connection to utilities and services (such as electricity, gas, water, telecommunications, sewerage system, wastewater system or waste control system) to those servicing the existing dwelling	
	(l)	has unrestricted access to the private open space associated with the existing dwelling to which it is ancillary	
	(m)	in the case of the Rural Zone, Productive Rural Landscape Zone, or Rural Horticulture Zone, is located within 20m of an existing dwelling.	
Residential Development - Low Rise			
External appearance			
PO 20.1	DTS/DPF 20.1		
Garaging is designed to not detract from the streetscape or appearance of a dwelling.	Garages and carports facing a street:		
	(a)	are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling	
	(b)	are set back at least 5.5m from the boundary of the primary street	
	(c)	have a garage door / opening width not exceeding 7m	
	(d)	have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.	
PO 20.2	DTS/DPF 20.2		
Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.	Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:		
	(a)	a minimum of 30% of the building wall is set back an additional 300mm from the building line	
	(b)	a porch or portico projects at least 1m from the building wall	
	(c)	a balcony projects from the building wall	
	(d)	a verandah projects at least 1m from the building wall	
	(e)	eaves of a minimum 400mm width extend along the width of the front elevation	
	(f)	a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm	
	(g)	a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.	

PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 20.3 None are applicable										
Private Open Space											
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.										
Landscaping											
PO 22.1 Soft landscaping is incorporated into development to:  (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.	DTS/DPF 22.1 Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):  (a) a total area for the entire development site, including any common property, as determined by the following table:  <table border="1"> <thead> <tr> <th>Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> (b) at least 30% of any land between the primary street boundary and the primary building line.	Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building, co-located housing or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):  (a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> (b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul>										
PO 23.2 Uncovered car parking space are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.2 Uncovered car parking spaces have:										

	<ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul> </li> </ul>
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</li> </ul>



- (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.

PO 23.6

Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

DTS/DPF 23.6

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

#### Waste storage

PO 24.1

Provision is made for the convenient storage of waste bins in a location screened from public view.

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

#### Design of Transportable Buildings

PO 25.1

The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.

DTS/DPF 25.1

Buildings satisfy (a) or (b):

- (a) are not transportable
- (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.

regular basis.											
Laneway Development											
Infrastructure and Access											
<p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>										
Decks											
Design and Siting											
<p>PO 45.1</p> <p>Decks are designed and sited to:</p> <ul style="list-style-type: none"> <li>(a) complement the associated building form</li> <li>(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)</li> <li>(c) minimise cut and fill and overall massing when viewed from adjacent land.</li> </ul>	<p>DTS/DPF 45.1</p> <p>Decks:</p> <ul style="list-style-type: none"> <li>(a) where ancillary to a dwelling: <ul style="list-style-type: none"> <li>(i) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> <li>A. in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(ii) are set back at least 900mm from side or rear allotment boundaries</li> <li>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</li> <li>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less: <ul style="list-style-type: none"> <li>A. a total area is determined by the following table: <table border="1" data-bbox="1054 1648 1517 2092"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> </li> <li>B. the amount of existing soft landscaping prior to</li> </ul> </li> </ul> </li> </ul>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

	<p>the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <ul style="list-style-type: none"> <li>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</li> <li>(ii) are set back at least 2 metres from a public road.</li> <li>(iii) have a floor area not exceeding 25m<sup>2</sup></li> </ul> <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>
<p>PO 45.2</p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p>DTS/DPF 45.2</p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>
<p>PO 45.3</p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p>DTS/DPF 45.3</p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <ul style="list-style-type: none"> <li>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</li> <li>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</li> </ul> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature								
General Land Use Compatibility									
PO 1.1  Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone.	DTS/DPF 1.1  None are applicable.								
PO 1.2  Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.	DTS/DPF 1.2  None are applicable.								
Hours of Operation									
PO 2.1  Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to: <ul style="list-style-type: none"> <li>(a) the nature of the development</li> <li>(b) measures to mitigate off-site impacts</li> <li>(c) the extent to which the development is desired in the zone</li> <li>(d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.</li> </ul>	DTS/DPF 2.1  Development operating within the following hours: <table border="1"> <thead> <tr> <th>Class of Development</th><th>Hours of operation</th></tr> </thead> <tbody> <tr> <td>Consulting room</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr> <tr> <td>Office</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr> <tr> <td>Shop, other than any one or combination of the following:               <ul style="list-style-type: none"> <li>(a) restaurant</li> <li>(b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone</li> </ul> </td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday</td></tr> </tbody> </table>	Class of Development	Hours of operation	Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Shop, other than any one or combination of the following: <ul style="list-style-type: none"> <li>(a) restaurant</li> <li>(b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone</li> </ul>	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday
Class of Development	Hours of operation								
Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday								
Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday								
Shop, other than any one or combination of the following: <ul style="list-style-type: none"> <li>(a) restaurant</li> <li>(b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone</li> </ul>	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday								
Overshadowing									
PO 3.1  Overshadowing of habitable room windows of adjacent residential land uses in: <ul style="list-style-type: none"> <li>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</li> <li>b. other zones is managed to enable access to direct winter sunlight.</li> </ul>	DTS/DPF 3.1  North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.								
PO 3.2  Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in: <ul style="list-style-type: none"> <li>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</li> <li>b. other zones is managed to enable access to direct winter sunlight.</li> </ul>	DTS/DPF 3.2  Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following: <ul style="list-style-type: none"> <li>a. for ground level private open space, the smaller of the following:               <ul style="list-style-type: none"> <li>i. half the existing ground level open space</li> <li>or</li> <li>ii. 35m<sup>2</sup> of the existing ground level open space (with at least one of</li> </ul> </li> </ul>								

	<p>the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <ul style="list-style-type: none"> <li>(a) the form of development contemplated in the zone</li> <li>(b) the orientation of the solar energy facilities</li> <li>(c) the extent to which the solar energy facilities are already overshadowed.</li> </ul>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
Activities Generating Noise or Vibration	
<p>PO 4.1</p> <p>Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.1</p> <p>Noise that affects sensitive receivers achieves the relevant Environment Protection (Commercial and Industrial Noise) Policy criteria.</p>
<p>PO 4.2</p> <p>Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:</p> <ul style="list-style-type: none"> <li>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</li> <li>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</li> <li>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</li> <li>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</li> </ul>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.3</p> <p>The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <ul style="list-style-type: none"> <li>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or</li> <li>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</li> </ul>
<p>PO 4.4</p> <p>External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.</p>	<p>DTS/DPF 4.4</p> <p>Adjacent land is used for residential purposes.</p>
<p>PO 4.5</p>	<p>DTS/DPF 4.5</p>

Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).	None are applicable.					
PO 4.6  Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.	DTS/DPF 4.6  Development incorporating music includes noise attenuation measures that will achieve the following noise levels: <table><tr><th>Assessment location</th><th>Music noise level</th></tr><tr><td>Externally at the nearest existing or envisaged noise sensitive location</td><td>Less than 8dB above the level of background noise (L90,15min) in any octave band of the sound spectrum (LOCT10,15 &lt; LOCT90,15 + 8dB)</td></tr></table>		Assessment location	Music noise level	Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L90,15min) in any octave band of the sound spectrum (LOCT10,15 < LOCT90,15 + 8dB)
Assessment location	Music noise level					
Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L90,15min) in any octave band of the sound spectrum (LOCT10,15 < LOCT90,15 + 8dB)					
Air Quality						
PO 5.1  Development with the potential to emit harmful or nuisance-generating air pollution incorporates air pollution control measures to prevent harm to human health or unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) within the locality and zones primarily intended to accommodate sensitive receivers.	DTS/DPF 5.1  None are applicable.					
PO 5.2  Development that includes chimneys or exhaust flues (including cafes, restaurants and fast food outlets) is designed to minimise nuisance or adverse health impacts to sensitive receivers (or lawfully approved sensitive receivers) by:  (a) incorporating appropriate treatment technology before exhaust emissions are released (b) locating and designing chimneys or exhaust flues to maximise the dispersion of exhaust emissions, taking into account the location of sensitive receivers.	DTS/DPF 5.2  None are applicable.					
Light Spill						
PO 6.1  External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).	DTS/DPF 6.1  None are applicable.					
PO 6.2  External lighting is not hazardous to motorists and cyclists.	DTS/DPF 6.2  None are applicable.					
Solar Reflectivity / Glare						
PO 7.1  Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.	DTS/DPF 7.1  None are applicable.					
Electrical Interference						

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Movement Systems	
PO 1.1 Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development is designed to discourage commercial and industrial	DTS/DPF 1.2 None are applicable.

vehicle movements through residential streets and adjacent other sensitive receivers.	
PO 1.3 Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.	DTS/DPF 1.4 All vehicle manoeuvring occurs onsite.
Sightlines	
PO 2.1 Sightlines at intersections, pedestrian and cycle crossings, and crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians.	DTS/DPF 2.1 None are applicable.
PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2 None are applicable.
Vehicle Access	
PO 3.1 Safe and convenient access minimises impact or interruption on the operation of public roads.	DTS/DPF 3.1 The access is:  (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
PO 3.2 Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.	DTS/DPF 3.2 None are applicable.
PO 3.3 Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.	DTS/DPF 3.3 None are applicable.
PO 3.4 Access points are sited and designed to minimise any adverse impacts on neighbouring properties.	DTS/DPF 3.4 None are applicable.
PO 3.5 Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.	DTS/DPF 3.5 Vehicle access to designated car parking spaces satisfy (a) or (b): (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner

	<ul style="list-style-type: none"> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul>
<p>PO 3.6</p> <p>Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).</p>	<p>DTS/DPF 3.6</p> <p>Driveways and access points:</p> <ul style="list-style-type: none"> <li>(a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided</li> <li>(b) for sites with a frontage to a public road greater than 20m: <ul style="list-style-type: none"> <li>(i) a single access point no greater than 6m in width is provided</li> <li>or</li> <li>(ii) not more than two access points with a width of 3.5m each are provided.</li> </ul> </li> </ul>
<p>PO 3.7</p> <p>Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.</p>	<p>DTS/DPF 3.7</p> <p>Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing:</p> <ul style="list-style-type: none"> <li>(a) 80 km/h road - 110m</li> <li>(b) 70 km/h road - 90m</li> <li>(c) 60 km/h road - 70m</li> <li>(d) 50km/h or less road - 50m.</li> </ul>
<p>PO 3.8</p> <p>Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.</p>	<p>DTS/DPF 3.8</p> <p>None are applicable.</p>
<p>PO 3.9</p> <p>Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.</p>	<p>DTS/DPF 3.9</p> <p>None are applicable.</p>
Access for People with Disabilities	
<p>PO 4.1</p> <p>Development is sited and designed to provide safe, dignified and convenient access for people with a disability.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</li> <li>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>

Vehicle Parking Areas	
PO 6.1  Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving from one part of a parking area to another.	DTS/DPF 6.1  Movement between vehicle parking areas within the site can occur without the need to use a public road.
PO 6.2  Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.	DTS/DPF 6.2  None are applicable.
PO 6.3  Vehicle parking areas are designed to provide opportunity for integration and shared-use of adjacent car parking areas to reduce the total extent of vehicle parking areas and access points.	DTS/DPF 6.3  None are applicable.
PO 6.4  Pedestrian linkages between parking areas and the development are provided and are safe and convenient.	DTS/DPF 6.4  None are applicable.
PO 6.5  Vehicle parking areas that are likely to be used during non-daylight hours are provided with sufficient lighting to entry and exit points to ensure clear visibility to users.	DTS/DPF 6.5  None are applicable.
PO 6.6  Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site.	DTS/DPF 6.6  Loading areas and designated parking spaces are wholly located within the site.
PO 6.7  On-site visitor parking spaces are sited and designed to be accessible to all visitors at all times.	DTS/DPF 6.7  None are applicable.
Undercroft and Below Ground Garaging and Parking of Vehicles	
PO 7.1  Undercroft and below ground garaging of vehicles is designed to enable safe entry and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles.	DTS/DPF 7.1  None are applicable.
Internal Roads and Parking Areas in Residential Parks and Caravan and Tourist Parks	

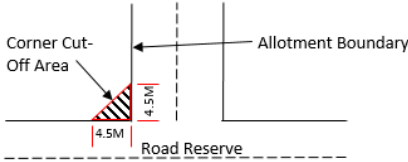
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 
Heavy Vehicle Parking	

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.	
Residential Development	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Aged / Supported Accommodation	

Williams Burton  
Leopardi —  
Ormsby Residence



Existing Conditions \_Site Location NTS



Design Narrative



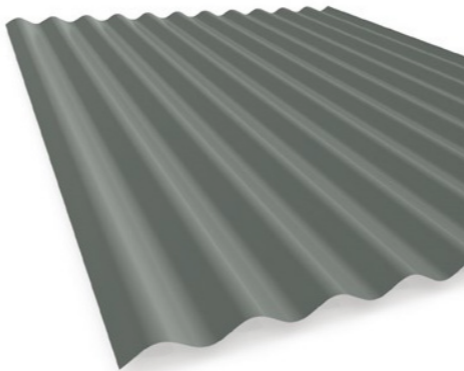
Luxurious exterior with a welcoming heart

Your home should nurture and support your distinct way of living life well. The property offers an exciting opportunity to create a new chapter for your family, adding to the ongoing story of the house. Together, we'll refine the perfect balance of expansion and intervention, inspired by your love of expansive volumes and Milanese aesthetics, always in service of creating a home that honours what you value most and becomes a cherished space for you and your loved ones to enjoy.

Material Palette



1- BAGGED BRICK



2 - PAINT OF EXISTING AND NEW  
CORRUGATED ROOF IN DARK GRAY



3 -EXISTING TRADITIONAL BLUE STONE  
FACADE WITH WHITE FACADE DETAILS  
AND BLACK STEEL BALUSTRADE



4 - BLACK METAL WINDOW FRAMES &  
BALUSTRADE

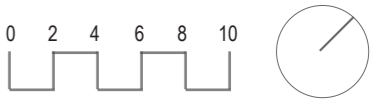
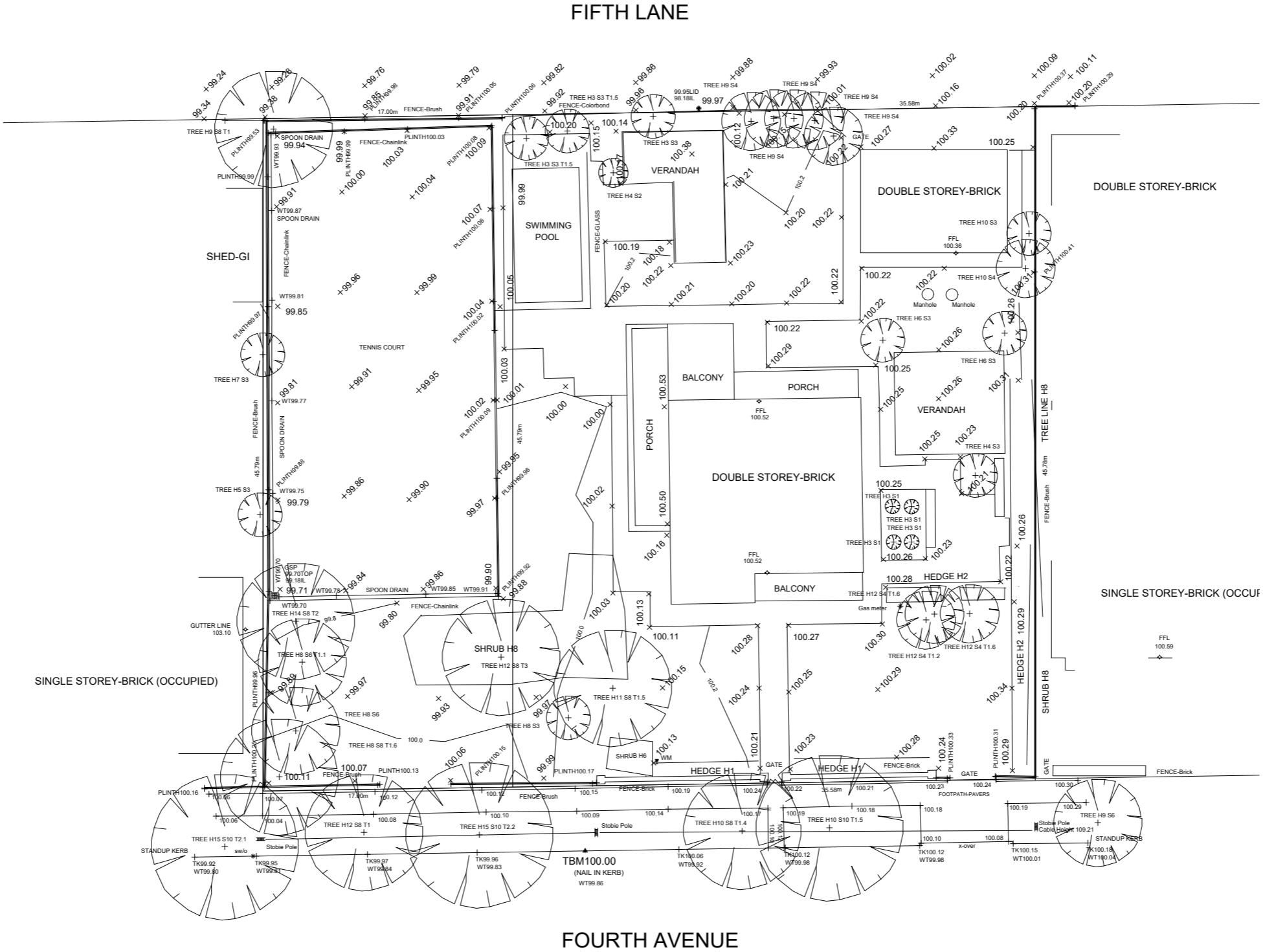


5 - RENDERED WALL IN WARM GRAY



6 - EXTERNAL PAVING  
LIMESTONE PAVER

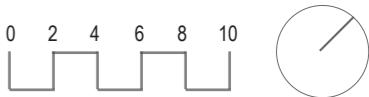
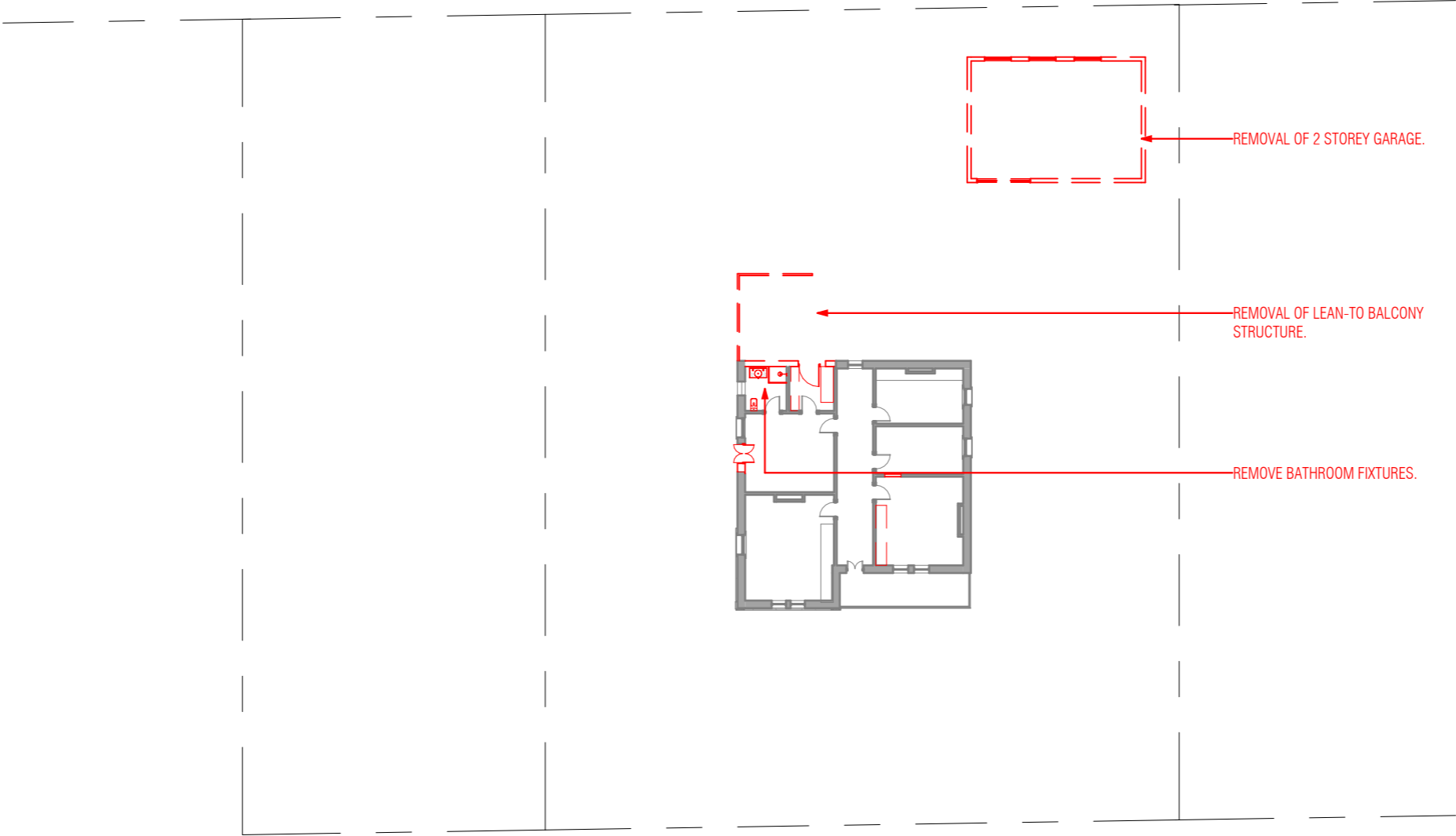
Survey Plan - Scale 1:333 @ a3



A photograph of a modern, single-story house with a large garage door and a small front door, surrounded by a well-maintained lawn and landscaping. The house has a light-colored exterior and a flat roof. The front yard features a green lawn with circular patterns, a large yellow plant, and a small tree. The house is set against a clear blue sky.

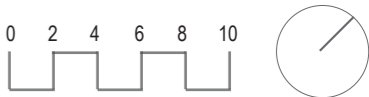
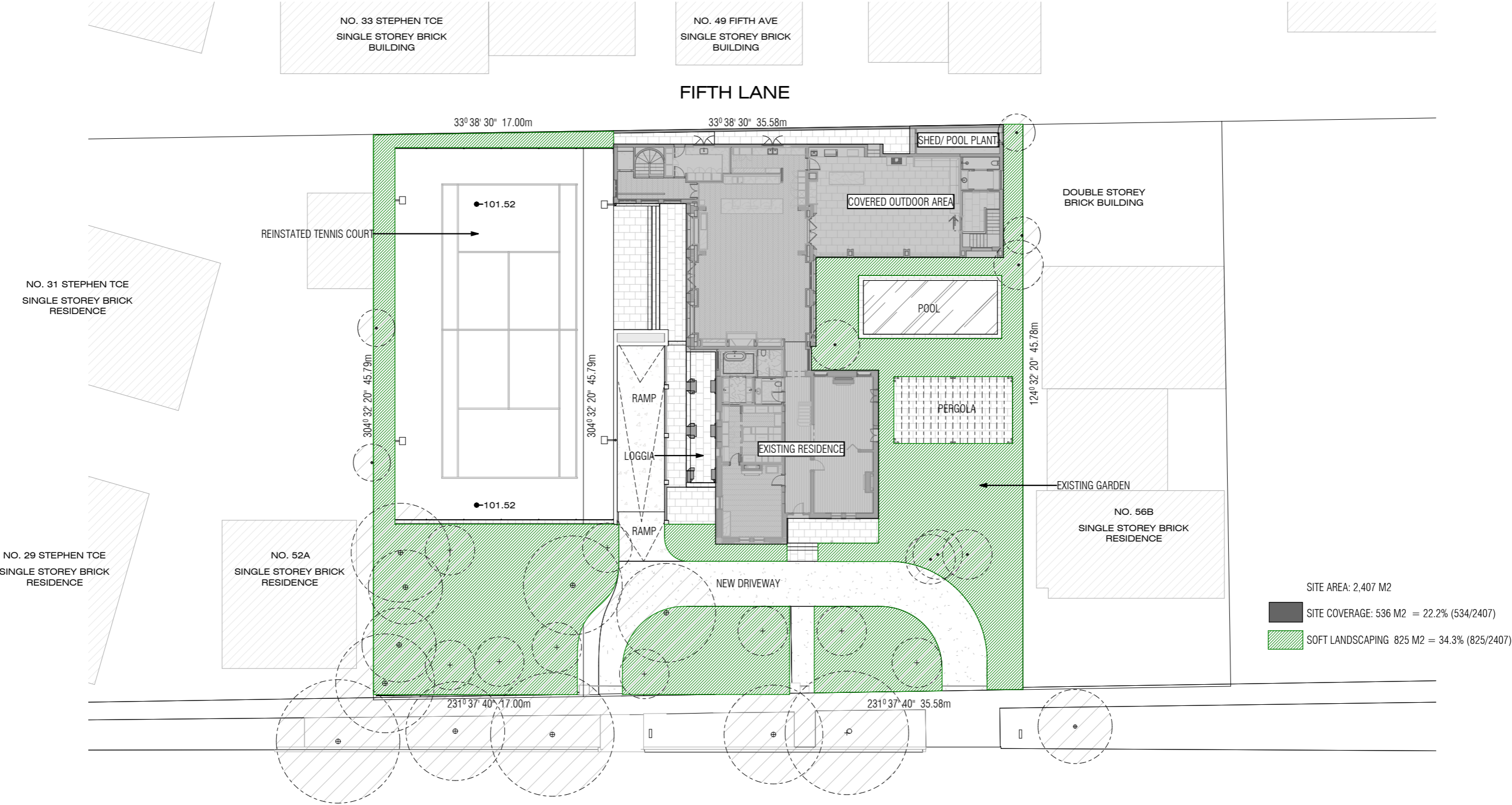
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Level 01 Demolition Plan - Scale 1:333 @ a3



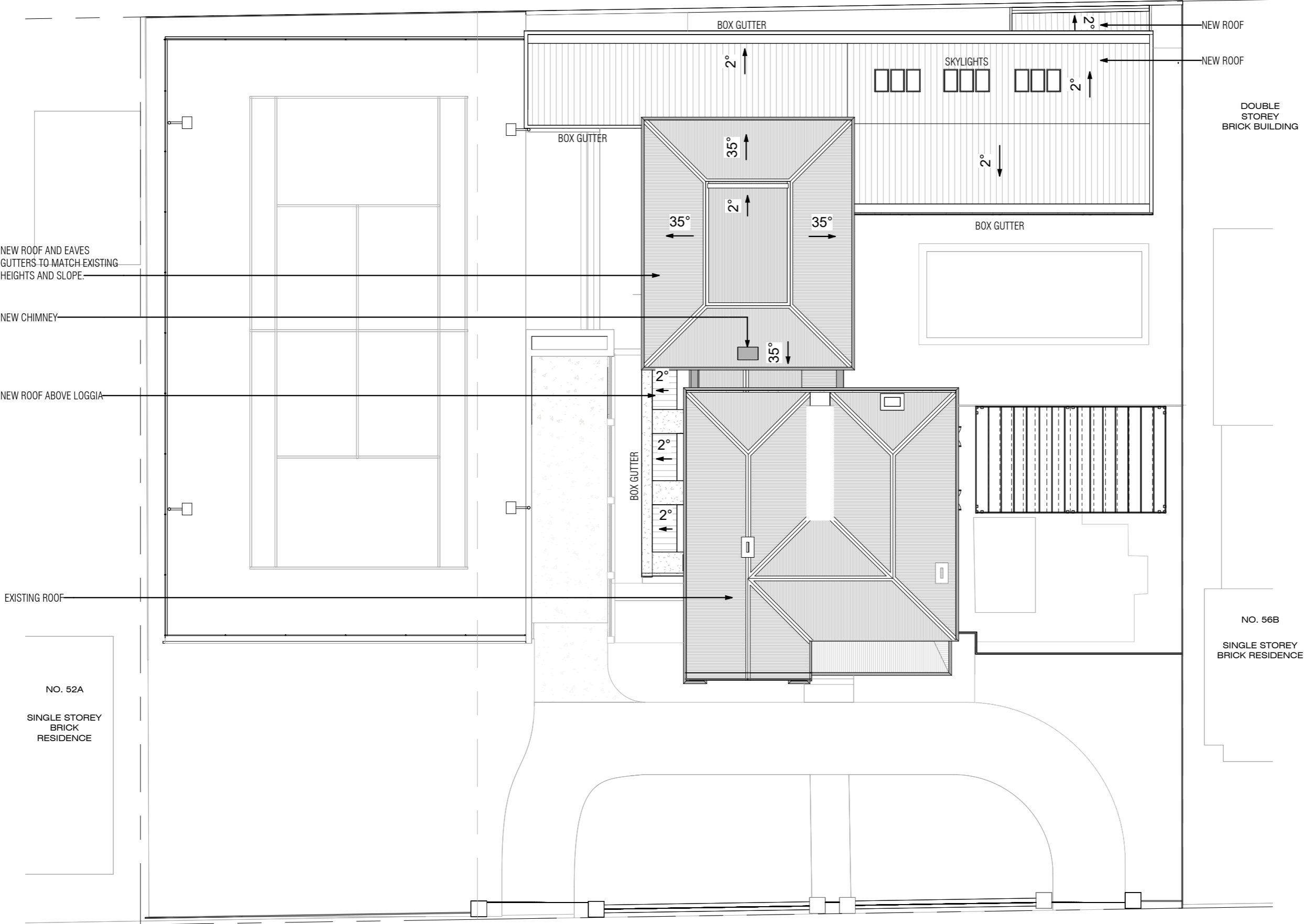
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Site Coverage & Soft Landscaping Plan - Scale 1:333 @ a3



Roof Plan - Scale 1:200 @ a3

FIFTH LANE



NEW ROOF AND EAVES  
GUTTERS TO MATCH EXISTING  
HEIGHTS AND SLOPE.

NEW CHIMNEY

NEW ROOF ABOVE LOGGIA

EXISTING ROOF

NO. 52A

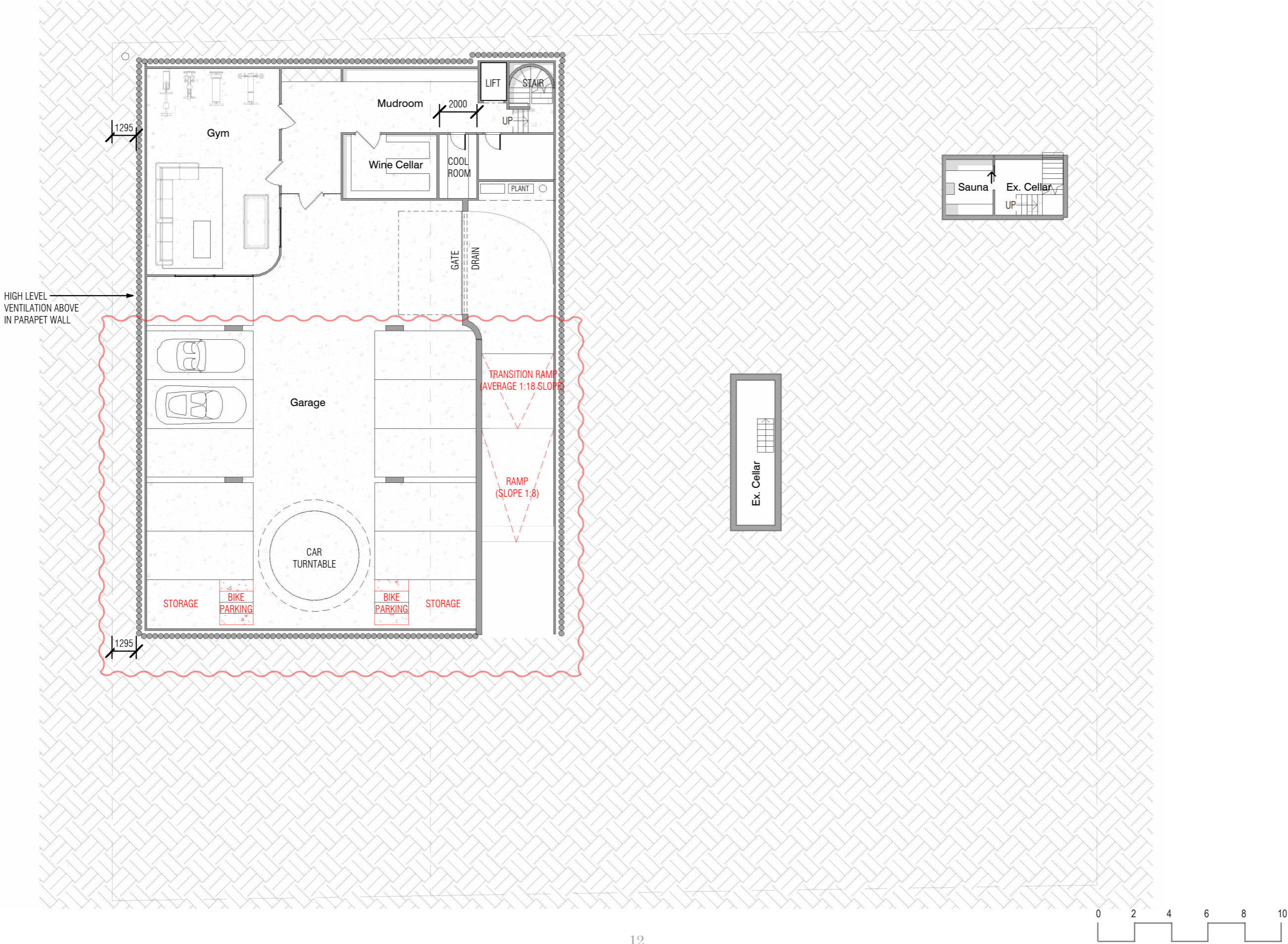
SINGLE STOREY  
BRICK  
RESIDENCE

DOUBLE  
STOREY  
BRICK BUILDING

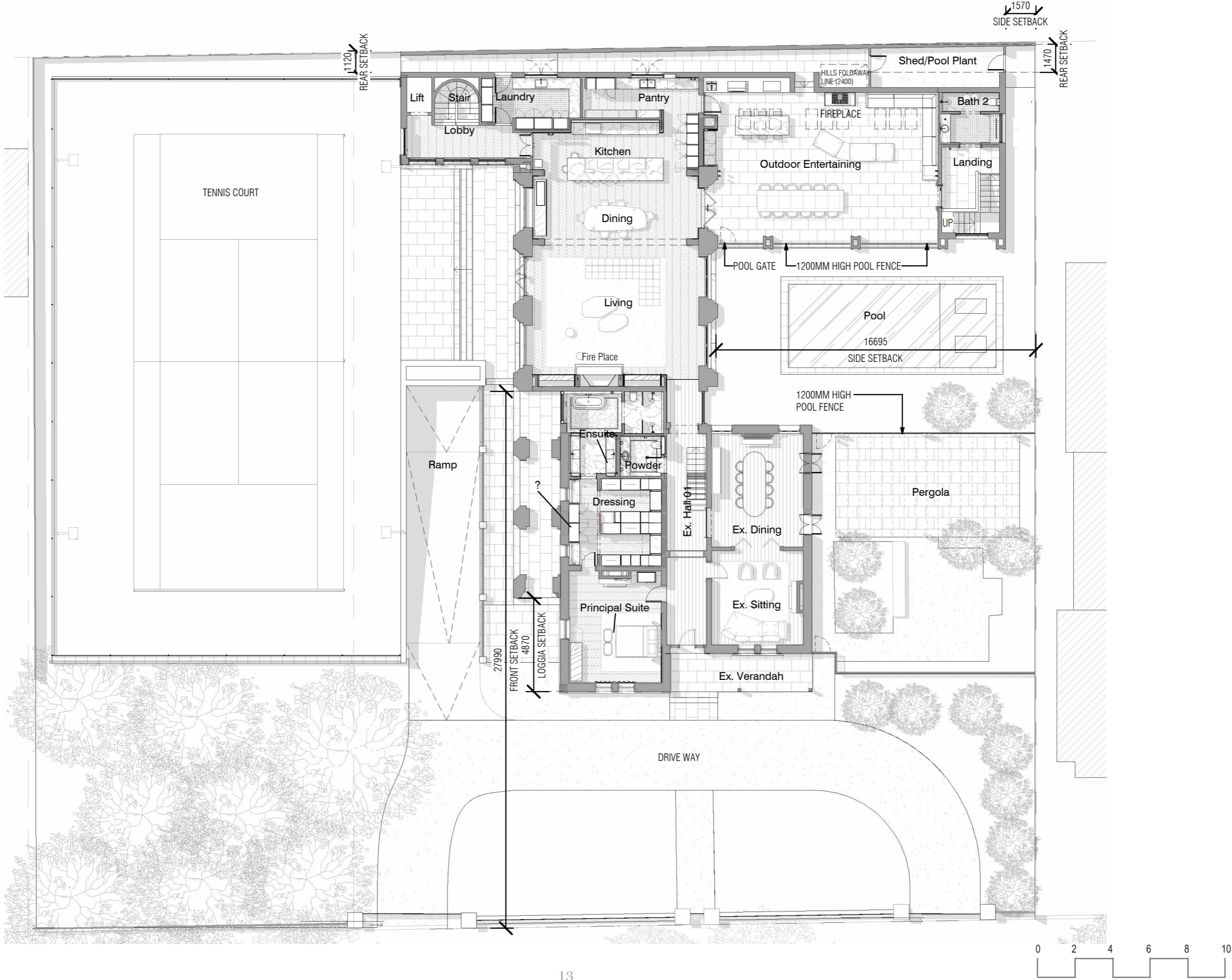
NO. 56B

SINGLE STOREY  
BRICK RESIDENCE

Basement Plan - Scale 1:200 @ a3



Ground Floor Plan - Scale 1:200 @ a3



First Floor Plan - Scale 1:200 @ a3



Impressionistic View - Street Frontage



Impressionistic View - Street Frontage



Impressionistic View



Impressionistic View - Rear Lane View



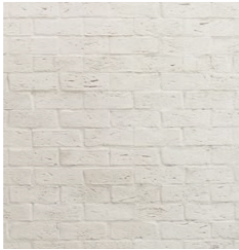
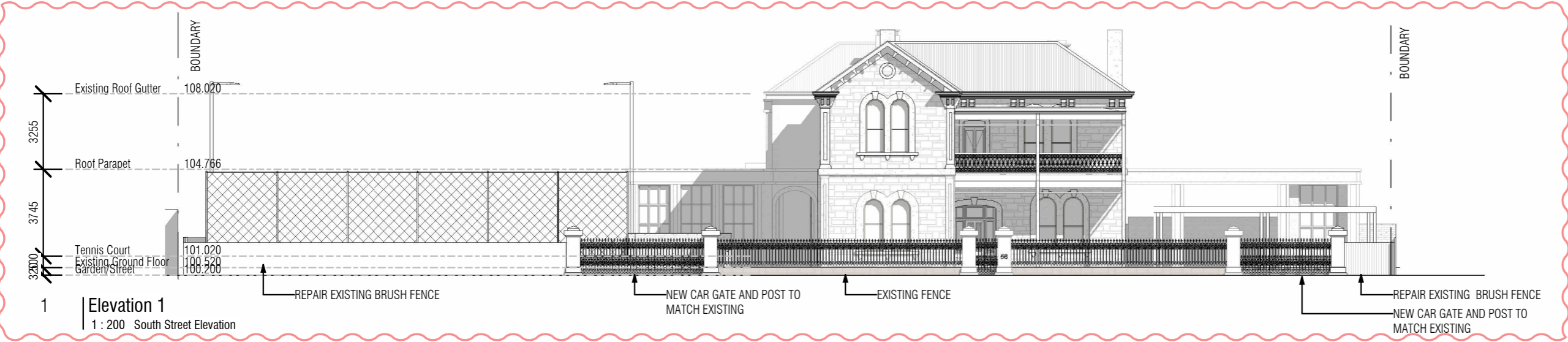
Impressionistic View - View from Eastern Boundary



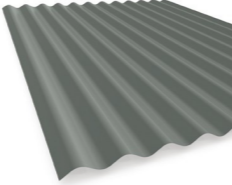
Impressionistic View - Western View



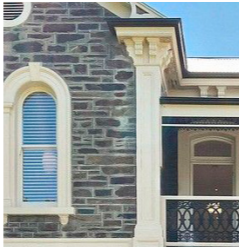
Elevations



1- BAGGED BRICK



2 - PAINT OF EXISTING AND CORRUGATED ROOF IN DARK GRAY



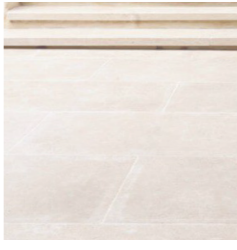
3 -EXISTING TRADITIONAL BLUE STONE FACADE WITH WHITE FACADE DETAILS AND BLACK STEEL BALUS



4 - BLACK METAL WINDOW FRAMES & BALUSTRADE

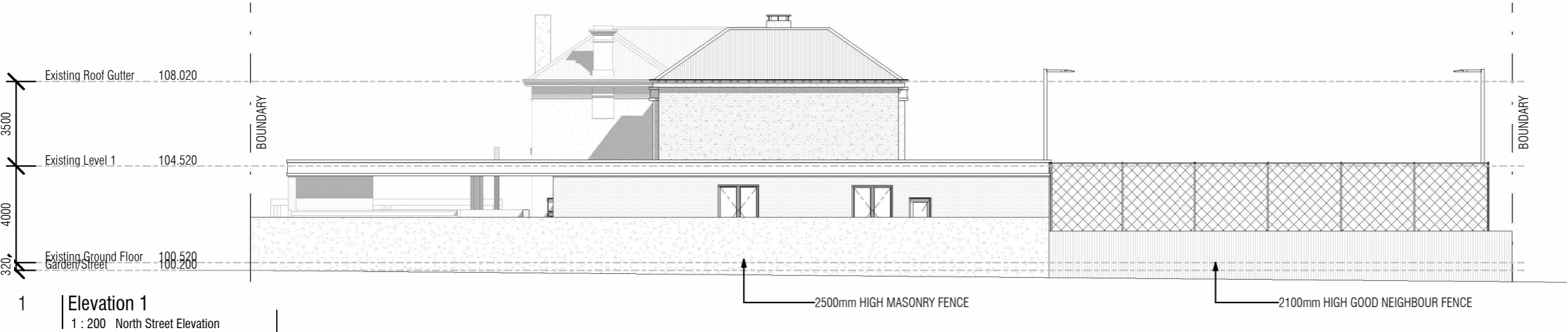


5 - RENDERED WALL IN WARM GRAY

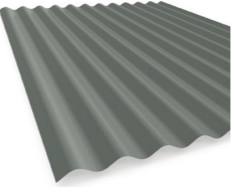


6 - EXTERNAL PAVING LIMESTONE PAVER

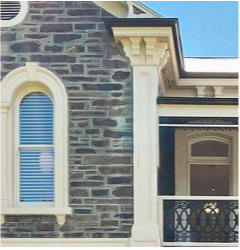
Elevations



1- BAGGED BRICK



2 - PAINT OF  
EXISTING AND  
CORRUGATED ROOF  
IN DARK GRAY



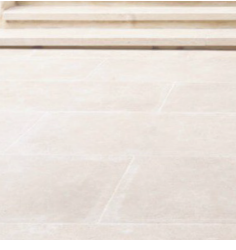
3 -EXISTING  
TRADITIONAL BLUE  
STONE FACADE WITH  
WHITE FACADE  
DETAILS AND BLACK  
STEEL BALUS-  
TRADE



4 - BLACK METAL  
WINDOW FRAMES &  
BALUSTRADE



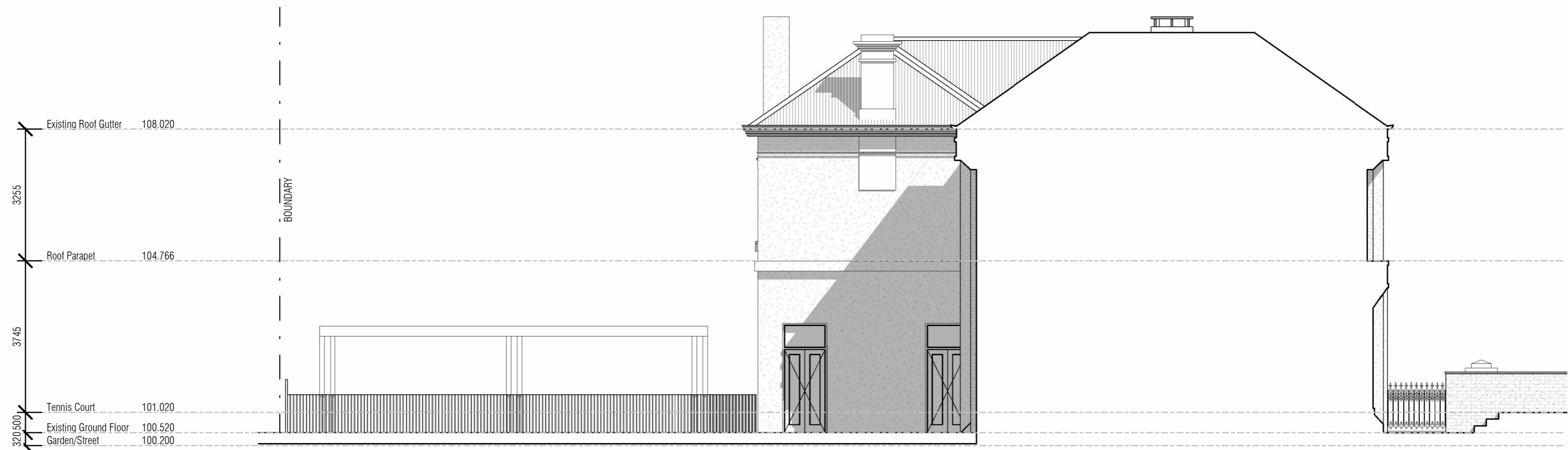
5 - RENDERED WALL  
IN WARM GRAY



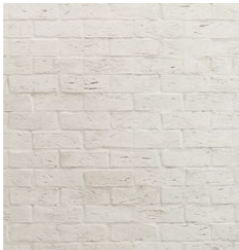
6 - EXTERNAL  
PAVING  
LIMESTONE PAVER



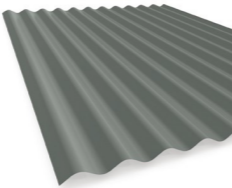
Elevations



1 | Elevation 1  
1 : 100 North Elevation 02



1- BAGGED BRICK



2 - PAINT OF  
EXISTING AND  
CORRUGATED ROOF  
IN DARK GRAY



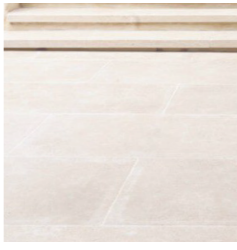
3 -EXISTING  
TRADITIONAL BLUE  
STONE FACADE WITH  
WHITE FACADE  
DETAILS AND BLACK  
STEEL BALUS-  
TRADE



4 - BLACK METAL  
WINDOW FRAMES &  
BALUSTRADE



5 - RENDERED WALL  
IN WARM GRAY



6 - EXTERNAL  
PAVING  
LIMESTONE PAVER



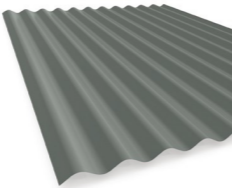
Elevations



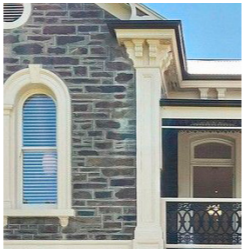
2A | Elevation 1  
1 : 100 PA East Elevation



1- BAGGED BRICK



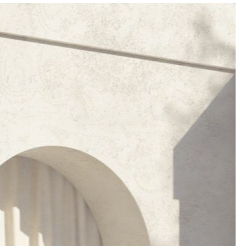
2 - PAINT OF EXISTING AND CORRUGATED ROOF IN DARK GRAY



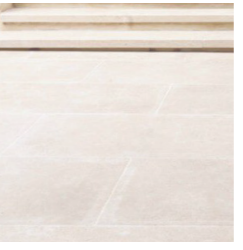
3 -EXISTING TRADITIONAL BLUE STONE FACADE WITH WHITE FACADE DETAILS AND BLACK STEEL BALUSTRADE



4 - BLACK METAL WINDOW FRAMES & BALUSTRADE



5 - RENDERED WALL IN WARM GRAY



6 - EXTERNAL PAVING LIMESTONE PAVER



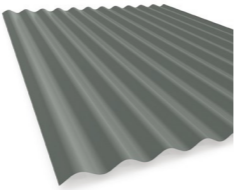
Elevations



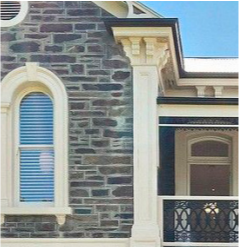
1 | Elevation 1  
401 | 1 : 100 West Elevation



1- BAGGED BRICK



2 - PAINT OF EXISTING AND CORRUGATED ROOF IN DARK GRAY



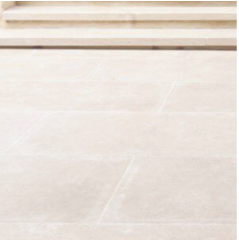
3 - EXISTING TRADITIONAL BLUE STONE FACADE WITH WHITE FACADE DETAILS AND BLACK STEEL BALUSTRADE



4 - BLACK METAL WINDOW FRAMES & BALUSTRADE

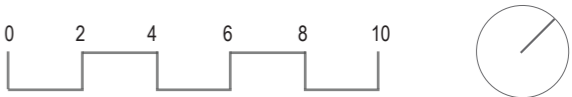
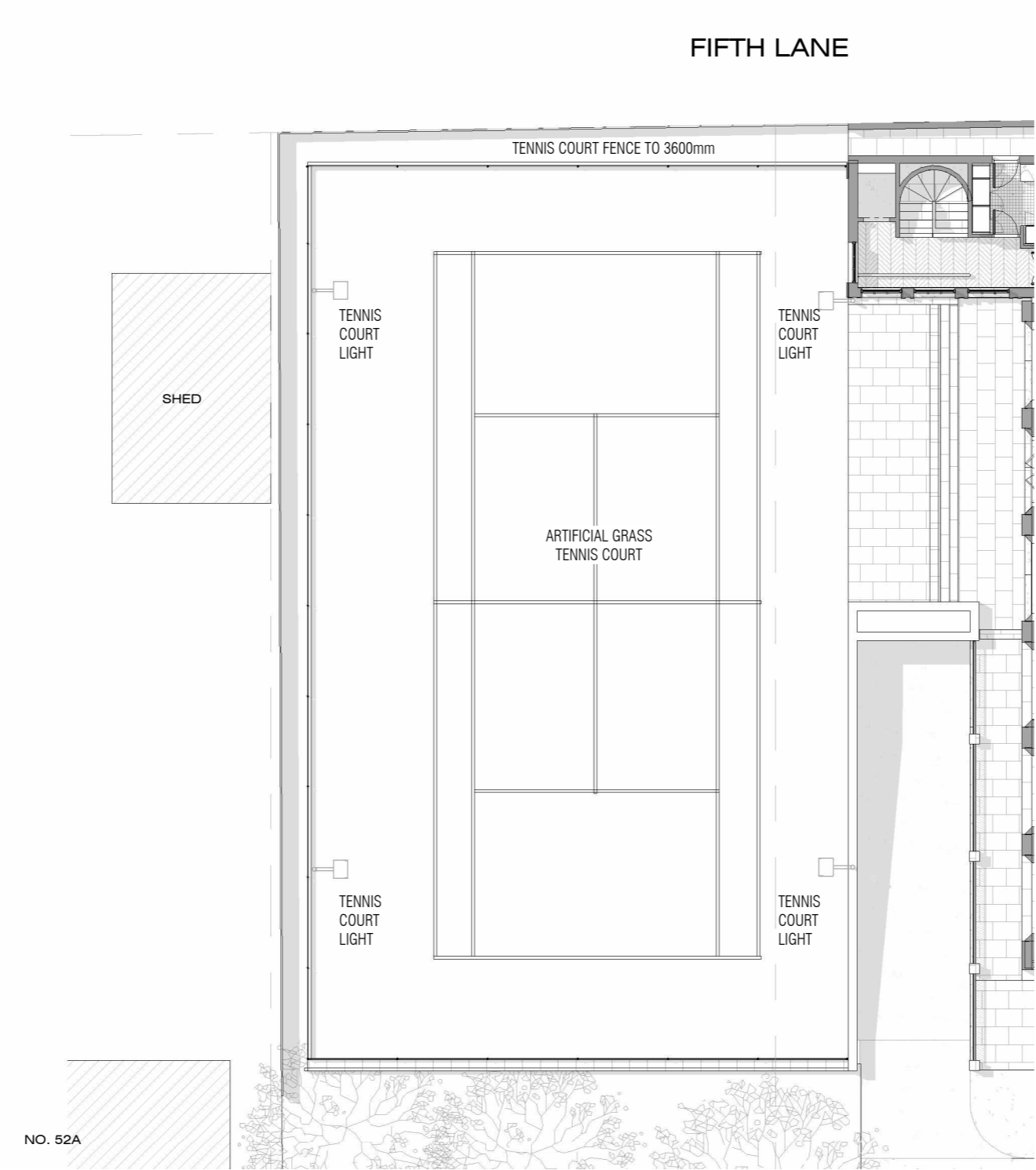


5 - RENDERED WALL IN WARM GRAY

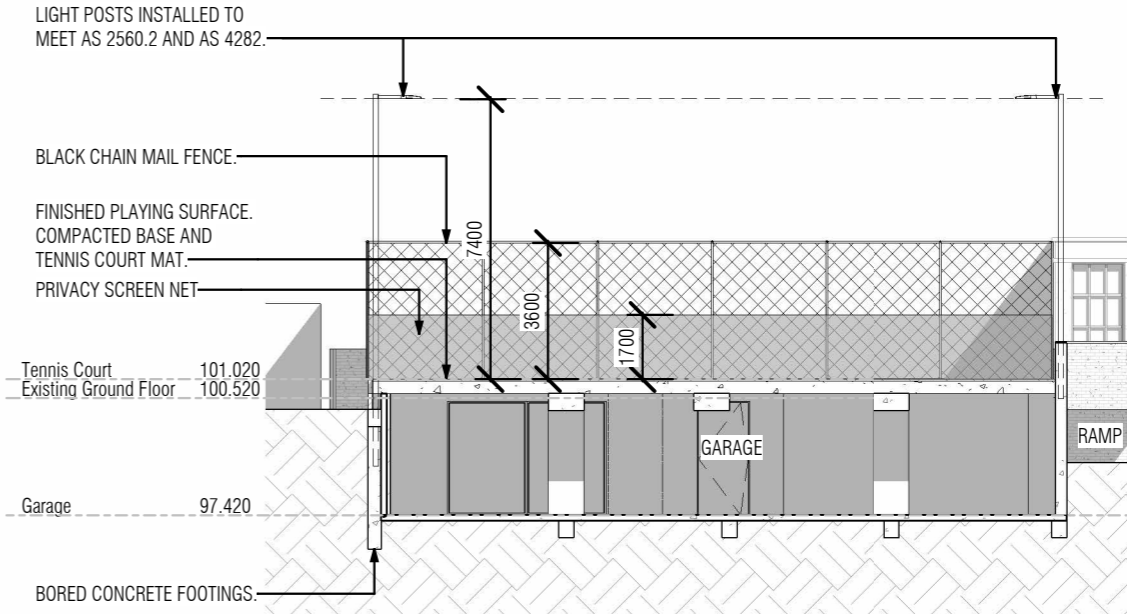
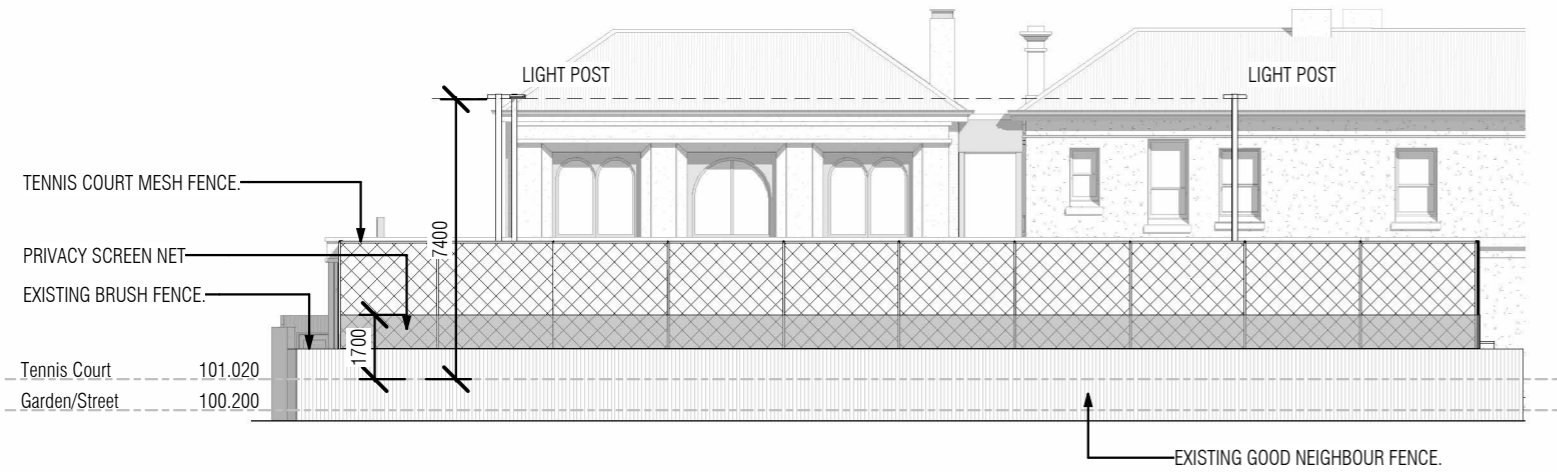
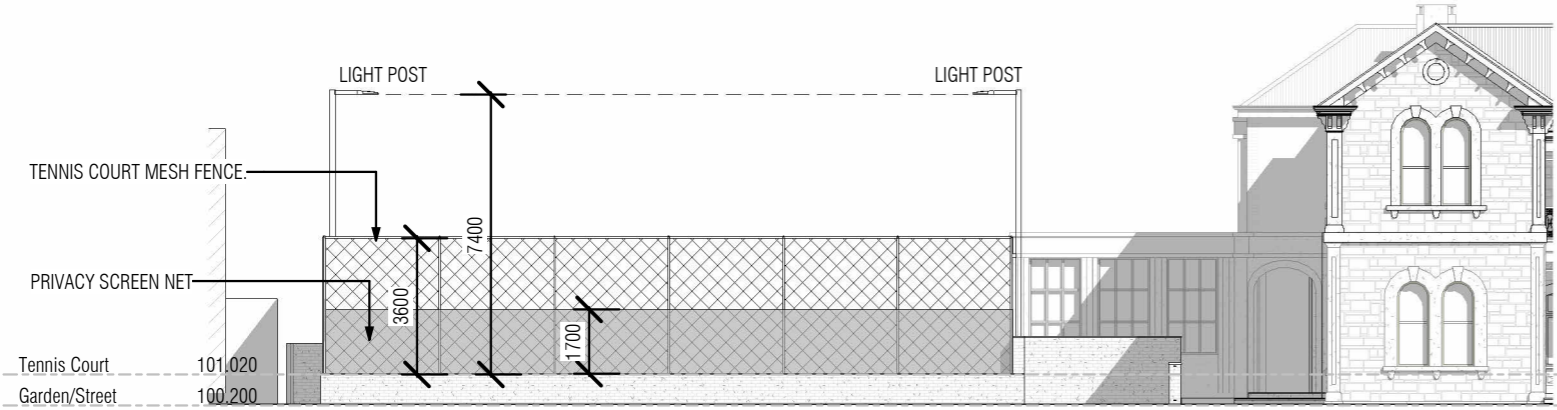
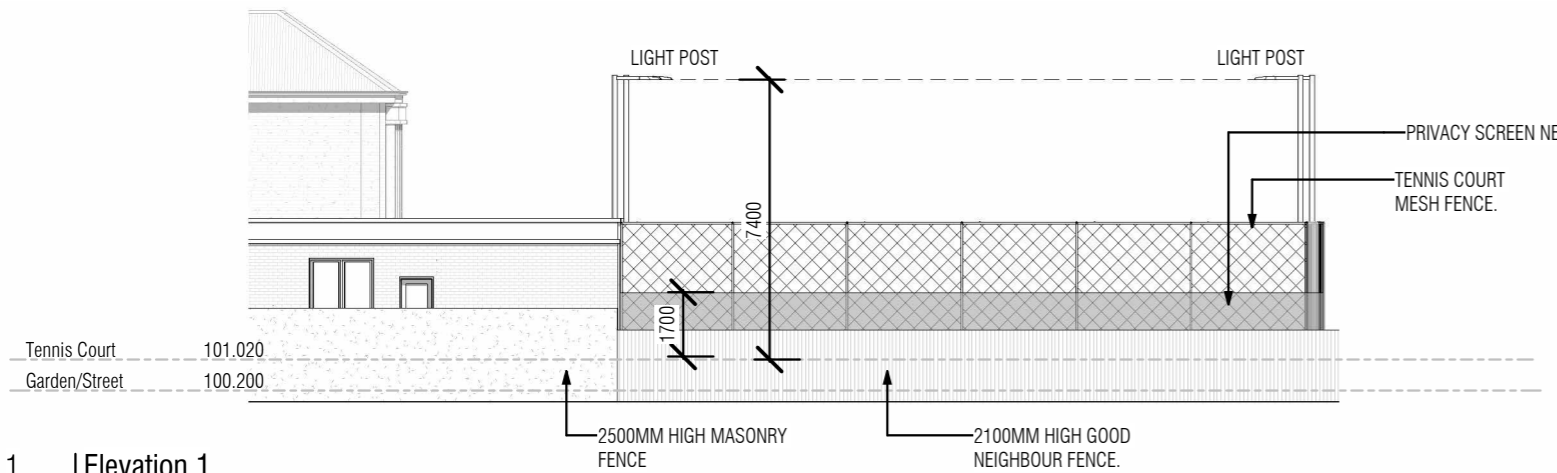


6 - EXTERNAL PAVING LIMESTONE PAVER

Tennis Court Light Diagram - Scale 1:200 @ a3



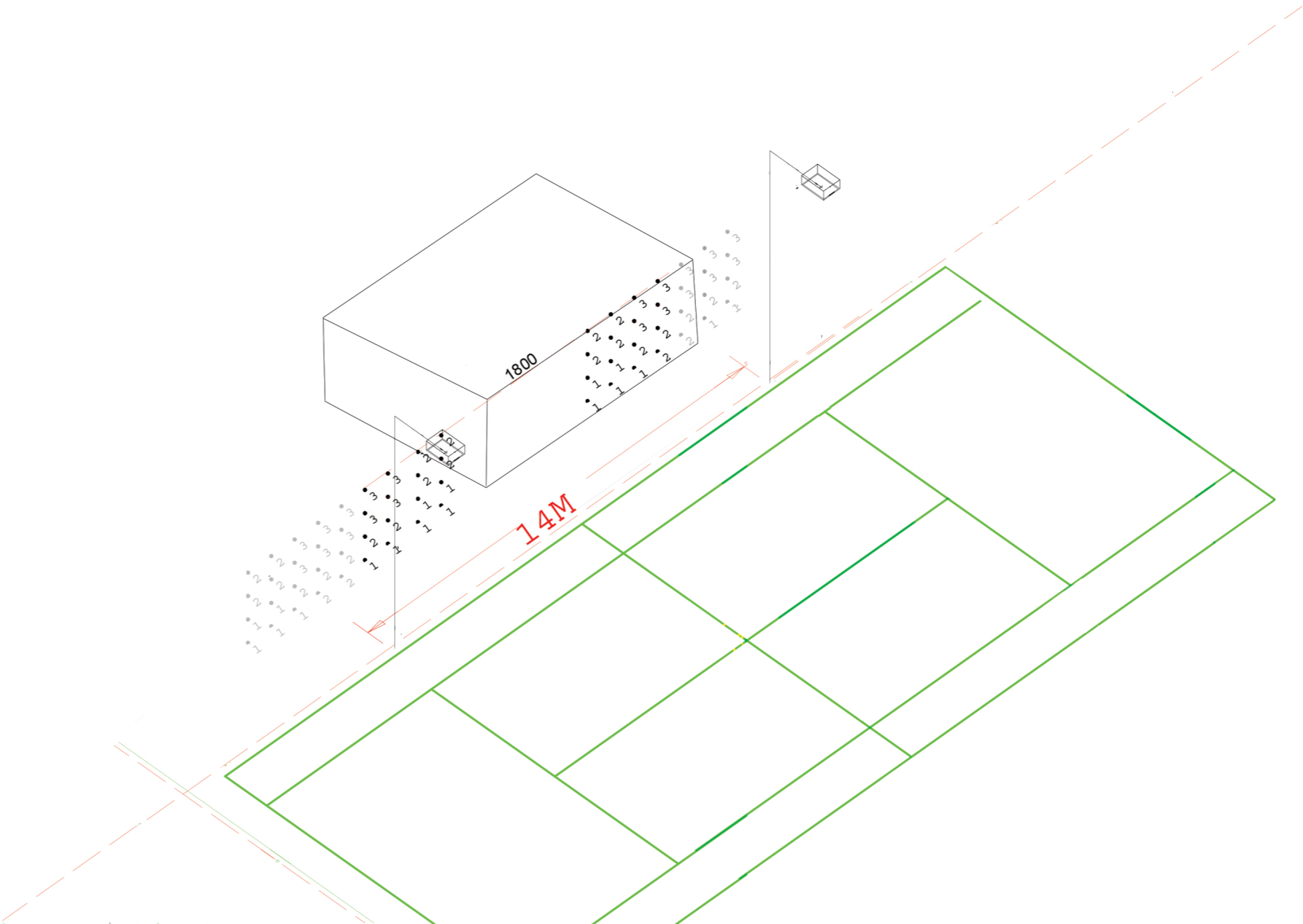
Tennis Court Light Diagrams



TENNIS COURT GENERAL NOTES

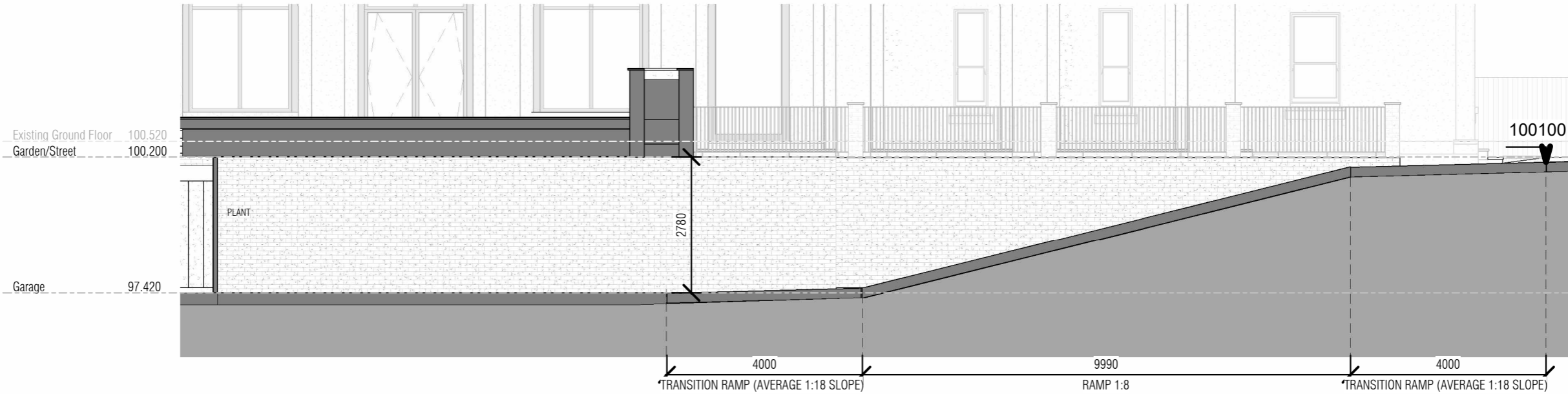
- LIGHT POSTS: 100mm NB.  
7400mm HIGH
- LIGHT: 4 x 1000w METAL  
HANDLE  
ENVIRONMENTAL
- FENCE: 3600mm HIGH BLACK  
PVC CHAIN MESH  
40mm NB. POSTS, TOP  
& BOTTOM RAILS  
50mm NB. CORNER  
POSTS

Tennis Court Light Spill Diagram



<b>Lighting System:</b> 4 x ELA Unilux Ultimate Cut Off v2 1000 Watt Metal Halide - U1000 7 metre mounting height with 750mm outreach		<b>Environmental Lighting Australia Pty Ltd</b> 3/24 The Concourse, Cowes Vic 3922 P: 03 5952 5587 F: 03 5952 3558 PO Box 8154, Croydon Vic 3136 E: enquiries@tennislights.com <b>www.tennislights.com</b>	

Section Ramp



Impressionistic View - Street Frontage



Thank you.

# Williams Burton Leopardi — Ormsby Residence

31 October 2025

City of Norwood Payneham & St Peters

Attention: Ned Feary

Ref: Application ID 25028766  
Dwelling addition including partial demolition of existing building and ancillary structures, excavation of a basement (including garage), reinstatement of tennis court with new lighting and fencing, construction of a swimming pool with associated safety features, fencing, and removal of a regulated tree

Dear Ned,

On behalf of our clients Jordan Ormsby, we submit additional information as requested on the 17th of October to support their development application for the proposed works as outlined above.

Enclosed is a copy of revised plans and elevations. These documents respond to the following requests for additional information:

## Privacy and Levels

1. **Given the raised level of the tennis court, with retention of the existing boundary fence, there may be privacy implications for the neighbouring property. How are you intending for privacy to be managed in this instance?**

We are proposing a non-see-through privacy screen net installed up to 1.7m above tennis court finished floor level on the mesh fence (DTS/DPF 11.2 (b) ii). In the long term, we suggest planting along the planter bed between the boundary and the tennis court, allowing vegetation to grow up and create a natural, non-see-through visual barrier. Please refer to page 27 Tennis court Diagrams.

## Heritage

2. **As the site is a Local Heritage Place, approval is required for any repair/maintenance work to the original building. Is any such work planned?**

We are proposing to repaint the existing painted areas of the building, make good works to stonework including stonework on fence. Additionally, we propose painting the metal roof. The intention is for both the existing building and proposed extension to create a harmonious ensemble that complements each other.

3. **Please also confirm the colour of the proposed fencing, as well as the profile of the new “good neighbour” fencing (generally corrugated is the appropriate profile).**

We propose **Stratco CGI corrugated fence sheeting** in **Woodland Gray/Slate Gray** for the good-neighbour fence.

# Williams Burton Leopardi —

4. **One further point for clarification is regarding the proposed driveway gates and new posts. Can you please clarify the proposed style of these? Unfortunately for something like this we do require a style to be nominated rather than saying “to match existing”.**

We are proposing a Victorian-style cast iron fence with detailing comparable to the existing pedestrian gate, and brick posts in a matching Victorian character — smooth rendered finish with a stone capping, as shown below. Please also refer to the revised elevation on page 21 and Impressionistic View - Street Frontage page 16.



## Vehicle Access and Manoeuvring

5. **I note the proposed driveway crossover on Fourth Avenue, which appears to be some 5.8m wide and would come to only 800mm from the existing street tree. This crossover will need to be narrowed to provide further separation from the tree. All works should be outside the tree’s structural root zone (though having not yet received advice from Council’s City Arborist, I cannot yet confirm what that distance is). Generally our policy states that such a driveway should be no more than 3.5m in width, unless there is a particularly good reason to depart from that.**

We relocated the proposed driveway to provide additional separation between the tree and the driveway, and reduced its width to 3.5 m. Please refer to the revised site plan (page 9).

6. **I have also not been able to fully consider whether the manoeuvring in the proposed basement garage is suitably functional. To clarify this, I will need confirmation of the ramp gradients to ensure that this complies with the relevant Australian Standards. To this end, please provide a section drawing illustrating this.**

Please refer to the additional section on the page 29 showing compliance with AS 2890.1:2004. 2.5.3

# Williams Burton Leopardi —

7. Moreover, I do have some issues with the turning movements into each parking space given their width, and the potential impact of the columns (which appear remarkably thin on the plans provided). In particular, the spaces on the end appear quite challenging in a manoeuvring sense, even with the proposed turntable. In this instance, it is clearly evident that enough functional parking spaces are provided to satisfy the Planning and Design Code, so this is not something that would prevent me from granting Planning Consent, but it may be something you wish to consider further..

We allocated the end parking spaces to bike parking with storage behind. Please refer to the revised on the page 12 basement plan.

8. I should also note that I haven't yet received any advice from our City Arborist regarding the trees on the site, but the scheme shown on the plans is generally appropriate (i.e. I am supportive of the removal of the regulated tree shown, so it is just a case of confirming that none of the other regulated trees would be affected).

Noted. Please don't hesitate to contact us if you require any additional information on this matter.

Should there be any additional information required, please don't hesitate to contact me.

Yours faithfully,

Max Kamlah

# Williams Burton Leopardi — Ormsby

15 September 2025

Duty Planner  
City of Norwood St Peters

Reference: Job. No 2803

To the Senior Planner,

**Heritage Impact Statement**  
56 Fourth Avenue, St Peters “Athol Lodge”

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## 1.0 Introduction

This Heritage Impact Statement has been prepared in support of proposed works at 56 Fourth Avenue, St Peters “Athol Lodge”, a Local Heritage Place (Item SP/25) on the City of Norwood Payneham & St Peters Local Heritage Register.

The assessment tests the proposal against the Planning & Design Code (State) policy framework, including the Established Neighbourhood Zone, the Historic Area Overlay (NPSP20 – The Avenues Historic Area Statement), the Heritage Adjacency Overlay and the Regulated & Significant Tree Overlay.

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## 2.0 Policy Context

- The Code and associated Historic Area guidance require retention and conservation of significant historic places and their garden/streetscape settings, and that new works be sympathetic in scale, form and materials so as not to dominate or diminish heritage values.
- The Regulated & Significant Tree Overlay requires protection and considered management of mature vegetation that contributes to heritage character; works that affect such trees generally require assessment and justification.

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## 3.0 Site and Locality

Athol Lodge is a substantially intact two-storey Italianate villa (c.1882) with bluestone walls and rendered detail, corrugated iron roof forms, ornate cast-iron balcony and verandah, and bracketed eaves. There is a small addition to the rear incorporating a

# Williams Burton Leopardi —

kitchen and roof deck above, and additional outbuildings including a two storey garage and single storey skillion roof pool pavilion. Neither of these outbuildings are contributory.

The original building Athol Lodge contributes strongly to Fourth Avenue's historic villa streetscape, including consistent setbacks, landscaped front garden and established trees. These attributes are recognised within the Avenues Historic Area Statement (NPSP20).

## 4.0 Proposed Works

The proposed works will: retain the primary villa fabric and principal street-facing elements and demolish the existing kitchen extension, second storey lean-to terrace and existing pool, pool shelter, and two storey garage. New works are to be located and designed to be visually subordinate and setback behind Athol Lodge, retaining the established front setback and landscaped presentation.

New works also retain/protect regulated and significant trees in accordance with the Regulated & Significant Tree Overlay. It is proposed to remove the existing tennis court, excavate below, and to form an underground garage, and replace the tennis court in place. The underground garage will be accessed from the circular driveway proposed at the front of Athol Lodge. It is proposed to close off the existing access from the rear lane to garaging.

## 5.0 Policy Cross-Reference Table

Policy / Clause	Key Requirement	Proposal's Response
<b>Historic Area Overlay – Design Advisory Guidelines</b> — Desired Outcomes & Performance Outcomes	New development must respect the historic built form: scale, setbacks, roof forms, materials; character-defining elements must be retained.	The proposal retains the principal Italianate villa form, street-facing elements (verandah, balcony, roof form, bracketed eaves) as the dominant presentation and uses materials for the extension that are sympathetic with the existing details (render, corrugated iron roof etc.). Additions are complementary in scale and visually separated to the existing form and sited so they are visually subordinate.
<b>Historic Area Overlay</b> — Guidance on demolition & partial demolition (PO/DO requirements)	Partial or total demolition of elements that contribute to the historic character should only occur where those elements are non-contributory, or restoration is impossible	No heritage-significant elements or street-facing character portions are proposed to be demolished. Where modification is necessary, only non-contributing or safely restorable elements are

# Williams Burton Leopardi —

	(e.g. safety/structural integrity).	changed. Historic fabric is preserved.
<b>Heritage Adjacency Overlay</b> — SA Planning & Design Code: NPSP Fact Sheet “Heritage Adjacency Overlay”	New development adjacent to a Local or State Heritage Place must maintain heritage and cultural values; it must be sympathetic to scale, form, materials and should not dominate the heritage building.	<p>The proposed works are subordinate and they do not dominate the heritage building from the street. Additions are considerate of being influenced by the Italianate style of Athol Lodge, with contemporary interpretations of arched expressions and roof forms, allowing the newer detailing to sit comfortably alongside the old without dominating or degrading the impact of the existing details.</p> <p>Whilst a single level plan, the double volume of the extension mirrors the proportions of the existing villa, creating a cohesive and balanced composition. Its roof pitch, material and form matches the existing slope and profile, using matching corrugated iron sheeting. Fascias, gutters, and eaves are proportionally matching with contemporary details. The façade references the Italianate roofs of the house and aligns with the existing character of rendered quoins, banding and opening surrounds whilst retaining a contemporary approach to not “mimic” the existing.</p>
<b>Established Neighbourhood Zone</b> — Fact Sheet for New Neighbourhood Zones / Established Neighbourhood Zone intent	The zone aims to preserve existing built character: existing site frontages, building heights, side setbacks, dominant materials, garden settings; infill or alterations must be sensitively done to align with character.	<p>The proposal retains the front setback, dominance of the original building, landscaping and garden setting; additions are located so as not to alter the rhythm of the street and are thus subordinate to the neighbourhood presentation. Heights and external form don’t exceed or dominate adjoining built forms.</p> <p>The design removes the existing overlooking from the northern balcony as well as the</p>

# Williams Burton Leopardi —

		two storey garage located at the rear, and as a single-storey plan with a double height volume does not create any new overlooking to neighbouring dwellings.
<b>Local Heritage Places / Local Heritage Places Overlay —</b> Interpretation via Practice Guidelines, Local Heritage Places Overlay policy (PO6.1 etc.)	Local Heritage Places should not be wholly or partly demolished unless they are excluded from listing or beyond repair. Additions and modifications should respond to the heritage value. P	The proposal preserves all heritage-listed parts; no proposals to demolish key fabric. Modifications are minor where needed and fully respect and respond to heritage significance.
<b>Regulated &amp; Significant Tree Overlay —</b> SA Code policy on trees that contribute to heritage / character & requirement to protect them	Trees that are regulated or significant and contribute to heritage or character must be retained where possible; works affecting them must be justified and minimize impact.	The design retains the majority of the regulated or significant trees on site; any landscape or site works are planned around them. Where removal of one (1) tree is required in the north western corner of the boundary (Jacaranda tree) it will be in accordance with the SA State Planning Commission Direction Part 2 Conditions Item 5. It is proposed that three additional trees will be planted in the deep root zone to the south of the tennis court to replace this tree.

## 6.0 Conclusion

The proposed works at 56 Fourth Avenue are consistent with the intent and relevant provisions of the South Australian Planning & Design Code (as informed by the Historic Area Overlay Design Advisory Guidelines and Regulated & Significant Tree policy). The design conserves the significant physical fabric of Athol Lodge, preserves the established streetscape and garden setting, protects regulated/significant trees, and provides a sympathetic, subordinate design approach for new works. On this basis, the proposal demonstrates direct correspondence with the Code and is considered worthy of heritage support.

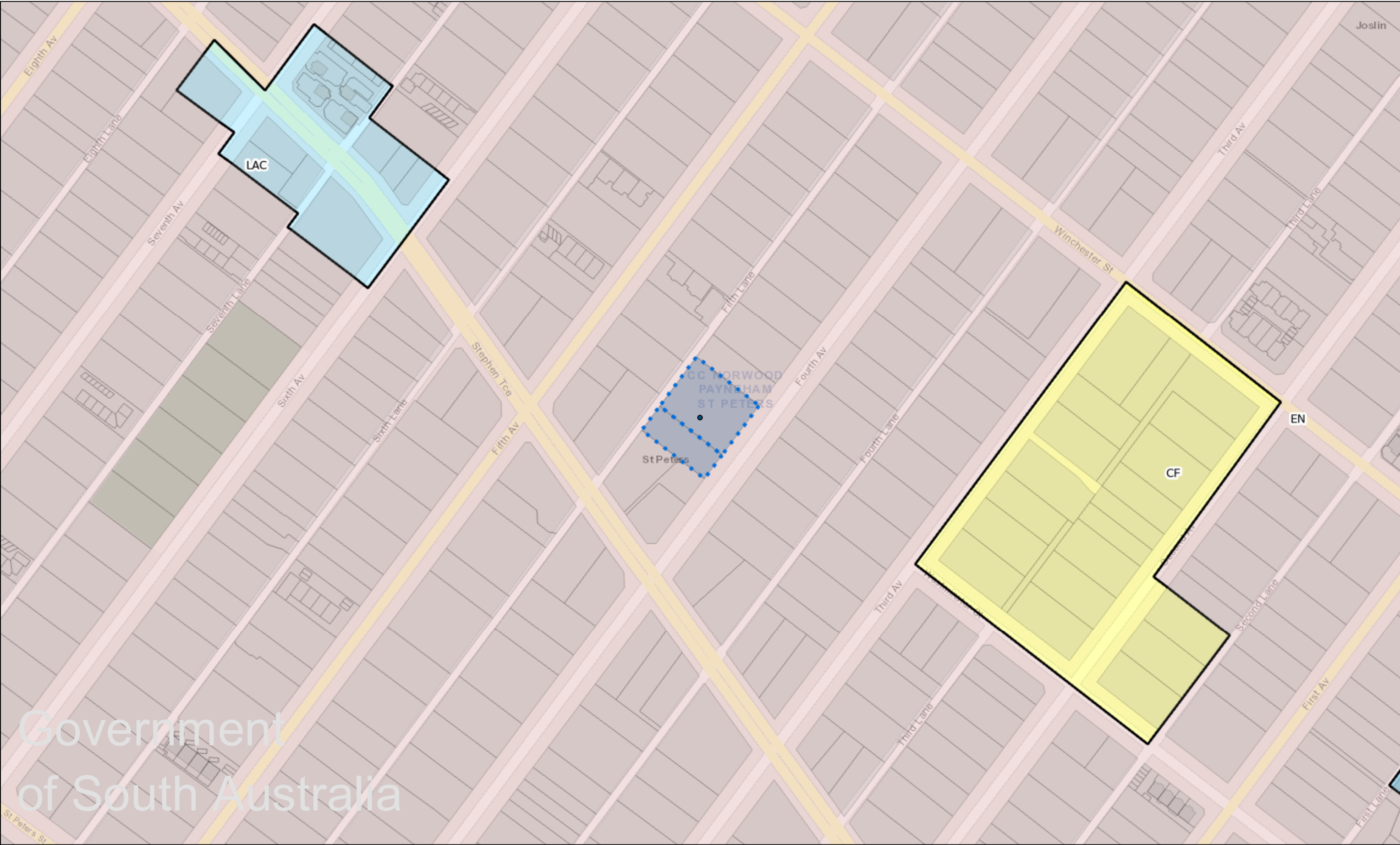
Yours faithfully,

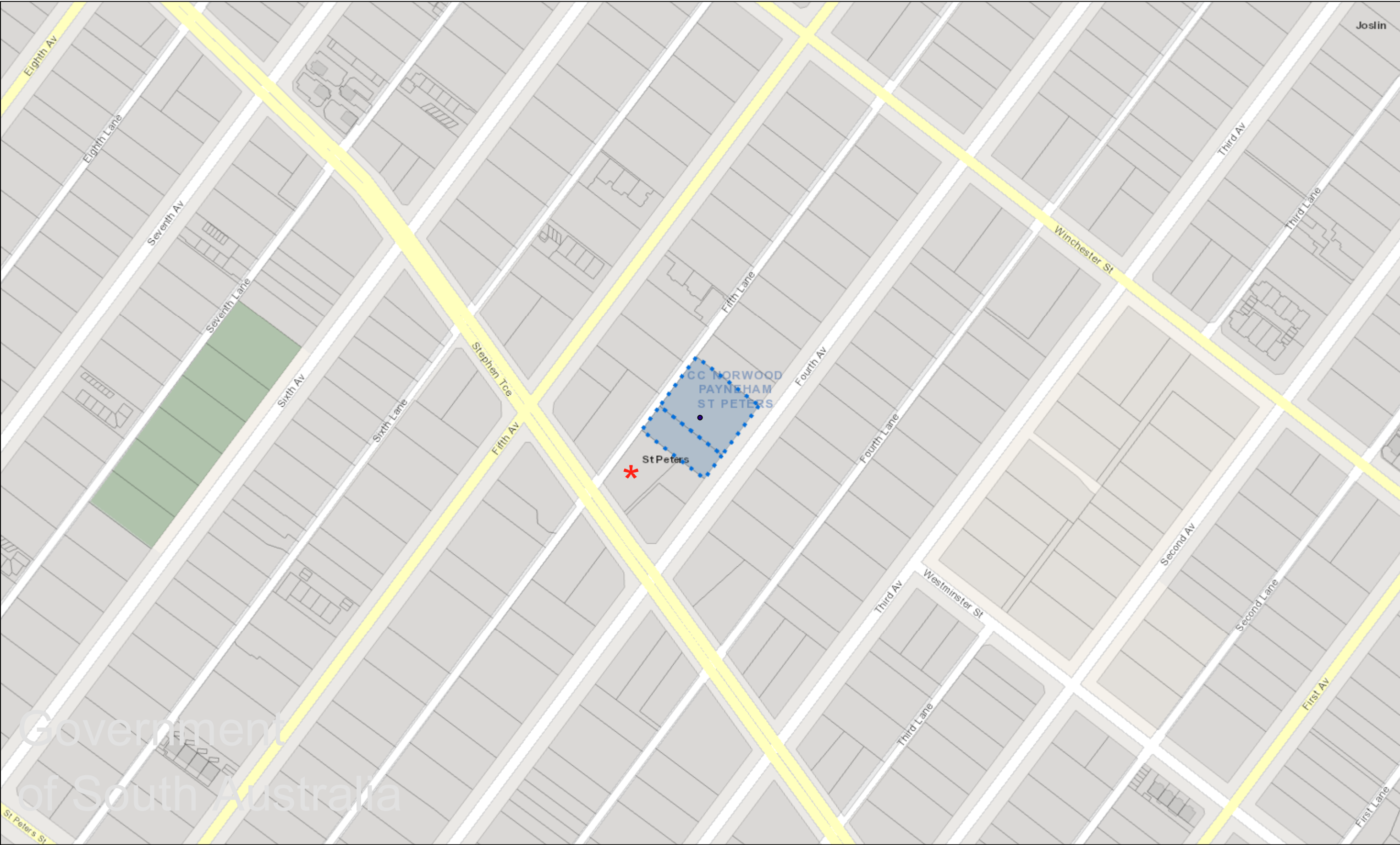


DAVID J BURTON RAITA  
Director



Government  
of South Australia





## Application Summary

Application ID	25028766
Proposal	Dwelling addition including partial demolition of existing building and ancillary structures, excavation of a basement (including garage), reinstatement of tennis court with new lighting and fencing, construction of a swimming pool with associated safety features, fencing, and removal of a regulated tree
Location	54 -56 FOURTH AV ST PETERS SA 5069

## Representations

### Representor 1 - Alison and Joathan Allan

Name	Alison and Joathan Allan
Address	
Submission Date	12/11/2025 09:42 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns

### Reasons

We, Jonathan and Alison Allan of \_\_\_\_\_ reside at one of the properties that shares a boundary on the western side of 54 - 56 Fourth Avenue, St Peters, SA, 5069. We support the development, but with three caveats: (1) that the proposed tennis court lights do not unduly shine into our back garden at night [Since the new tennis court will be further away from the fence than is currently the case, hopefully this should not be an issue, but possibly some sensitive planting such as pencil pines adjacent to the lights could be incorporated]; (2) that the current brush fence separating our properties is retained [This is suggested in all of the architectural drawings from Williams Burton Leopardi except for on page 9, which erroneously refers to an "existing Good Neighbour fence"]; (3) that the significant earthworks proposed for the removal of the current tennis court and excavation for the basement carpark, gym, wine cellar and mud room do not pose a threat to the structural integrity of our home, in particular the cellar, which is positioned at the very back of our house. [This is probably unlikely, but we are conscious of the reactive clay soils and the proximity of the proposed works to our house, and are just wanting to have our concern noted.] In other respects we think that the proposed development preserves the heritage value of the property and its contribution to the neighbourhood, whilst being very striking and appealing. Alison and Jonathan Allan  
12/11/25

## Attached Documents

Representor 4 - Nick Wilson

Name	Nick Wilson
Address	
Submission Date	13/11/2025 11:12 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
<b>Reasons</b> Please refer to the enclosed representation on behalf of an affected local resident	

Attached Documents

54783LET01-1557605.pdf

13 November 2025

Mr. Geoff Parsons  
Manager, Development and Regulatory Services  
City of Norwood, Payneham and St Peters  
175 The Parade  
Norwood SA 5067

Our Ref: 54783LET01

Dear Geoff

**Re: Representation in Respect to Application 25028766 - Dwelling addition at 54 -56 Fourth Avenue, St Peters**

We refer to the public notice in respect to Development Application ID 25028766 for the “*Dwelling addition including partial demolition of existing building and ancillary structures, excavation of a basement (including garage), reinstatement of tennis court with new lighting and fencing, construction of a swimming pool with associated safety features, fencing, and removal of a regulated tree*” at 54 - 56 Fourth Avenue, St Peters.

The application has been made by Jordan Ormsby c/o Williams Burton Leopardi.

MasterPlan have been engaged by an affected local resident. Our instructions are to review the application on their behalf and form our professional opinion on its merits. In forming our view on the proposed development, we have undertaken a desktop assessment of the site and locality, reviewed in detail the proposed plans and accompanying documentation, and have had regard to the relevant provisions of the Planning and Design Code (the Code).

The outcome of our assessment is that we consider that the application has evident deficiencies with the policies expressed in the Established Neighbourhood Zone, the relevant Overlays, and the General Development Policies of the Code that warrant substantial revision.

Specifically, our review has identified issues in respect to the following matters:

- Building Height and Scale
- Heritage Impacts

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Adelaide SA 5000  
(08) 8193 5600  
www.masterplan.com.au

Offices in SA | NT | QLD  
ABN 30 007 755 277  
plan@masterplan.com.au



- Vehicle Access
- Lighting Impacts
- Trees and Arboriculture
- Stormwater Management

We expand on these matters hereunder. Summarily, it is our professional opinion that the proposed development lacks key information, is of an inappropriate scale, proposes heritage impacts that do not accord with the policy and should be refused in its current form for these reasons.

### Building Height and Scale

The proposed development is located within Established Neighbourhood (EN) Zone. The EN Zone applies a technical and numeric variation that limits maximum building height to one (1) level. This is reinforced within the provisions of the Zone, including Performance Outcome (PO) 4.1, which states that *“buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings”*. The quantitative guidance on what is generally considered to satisfy this intent is provided in the corresponding Designated Performance Feature (DPF) 4.1, which seeks that *“Building height ... is no greater than ... [a] maximum building height [of] 1 level”*.

Established Neighbourhood Zone	
Performance Outcome	Designated Performance Feature
PO 4.1  Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.	DPF 4.1  Building height (excluding garages, carports and outbuildings) is no greater than:  the following: <div>Maximum Building Height (Levels)</div> Maximum building height is 1 level

The overarching intent for the Zone is articulated in the Desired Outcome (DO) 1 for *“A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.”*

The prevailing character within Fourth Avenue and surrounding streets is one of single-storey character homes. Whilst some two-storey forms are evident, these are rare and are most commonly concealed within the roof space to maintain a single-storey appearance.

While the addition is described as single-level, the proposed double-volume built form reads at a two-storey scale and will present as substantially taller than the one-level policy intent for this locality.



This is of particular importance in the context of this development given its interaction with a heritage item. PO 2.1 of the Local Heritage Place Overlay states that's additions to such buildings should be “*unobtrusive*”, and not “*dominate*” the heritage place or its setting.

Local Heritage Place Overlay	
Performance Outcome	Designated Performance Feature
PO 2.1  Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting.	DPF 2.1  None are applicable.

The applicant's Heritage Impact Statement describes the extension as a single-storey plan with a double-height volume, reinforcing that the perceived bulk and scale exceed the prevailing one-storey character. As a result, the extension is not subservient to the heritage building, which should remain the dominant element, and can reasonably be considered to visually compete with or dominate its setting. Whilst this impact may be moderated from the primary street frontage, it will remain apparent from oblique views and from adjoining land and Fifth Lane.

While PO 4.1 of the Established Neighbourhood Zone refers to buildings complementing the height of nearby buildings, that should not be interpreted as encouraging replication or matching of a single, taller element within the locality. In this context, “*complement*” means achieving a relationship that is visually compatible with the prevailing-built form and subordinate to the subject building. Following the ridge line of Athol Lodge with a new structure that extends well beyond a typical one-storey scale would not complement the established character; it would instead compound the visual bulk of an outlier element within a low-rise neighbourhood and diminish the primacy of the heritage building to which it relates.

### Heritage Impacts

The subject land contains Local Heritage Place 6341 (“Athol Lodge”) and is located within The Avenues Historic Area (NPSP20) under the Historic Area Overlay of the Planning and Design Code. The listing includes “whole of exterior including front fence”, confirming that the principal building and its original elements are integral to the identified heritage value.

The Local Heritage Place Overlay expresses the intent that (DO 1) “*development that maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse*”. PO 1.1–1.7 and PO 2.1 seek that new development and alterations maintain the heritage values of the place, be unobtrusive, not conceal or obstruct heritage elements, and not dominate the heritage building or its setting. Demolition in total or in part is only envisaged where the portion of the Local Heritage Place to be demolished is excluded from the extent of listing or represents an unacceptable risk to public or private safety and is irredeemably beyond repair (PO 6.1).



### Local Heritage Place Overlay

#### Desired Outcome

##### DO 1

Development maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

#### Performance Outcome

#### Designated Performance Feature

### Local Heritage Place Overlay

PO 1.1 The form of new buildings and structures maintains the heritage values of the Local Heritage Place.	DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.	DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the Local Heritage Place.	DPF 1.3 None are applicable.
PO 1.4 Development is consistent with boundary setbacks and setting.	DPF 1.4 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the Local Heritage Place.	DPF 1.5 None are applicable.
PO 1.6 New buildings and structures are not placed or erected between the primary or secondary street boundaries and the façade of a Local Heritage Place.	DPF 1.6 None are applicable.
PO 1.6 New buildings and structures are not placed or erected between the primary or secondary street boundaries and the façade of a Local Heritage Place.	DPF 1.6 None are applicable.
PO 2.1 Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or	DPF 2.1 None are applicable.



Performance Outcome	Designated Performance Feature
obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting.	
<p>PO 6.1</p> <p>Local Heritage Places are not demolished, destroyed or removed in total or in part unless:</p> <p>(a) the portion of the Local Heritage Place to be demolished, destroyed or removed is excluded from the extent of listing that is of heritage value or</p> <p>(b) the structural integrity or condition of the Local Heritage Place represents an unacceptable risk to public or private safety and is irredeemably beyond repair.</p>	<p>DPF 6.1</p> <p>None are applicable.</p>
<b>Historic Area Overlay</b>	
<p>PO 7.1</p> <p>Buildings and structures, or features thereof, that demonstrate the historic characteristics as expressed in the Historic Area Statement are not demolished, unless:</p> <p>(a) the front elevation of the building has been substantially altered and cannot be reasonably restored in a manner consistent with the building's original style or</p> <p>(b) the structural integrity or safe condition of the original building is beyond reasonable repair.</p>	<p>DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Partial demolition of a building where that portion to be demolished does not contribute to the historic character of the streetscape.</p>	<p>DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Buildings or elements of buildings that do not conform with the values described in the Historic Area Statement may be demolished.</p>	<p>DPF 7.3</p> <p>None are applicable.</p>

The notified demolition plans show the removal of the western verandah and porch elements of Athol Lodge. These are key components of Italianate villas and contribute to the architectural integrity and heritage character of the building. There is no evidence within the submitted documentation demonstrating that these elements are non-contributory or beyond reasonable repair.



The Historic Area Overlay (NPSP20) seeks to retain and conserve places and features that collectively demonstrate the historic character of The Avenues Historic Area, which is defined by predominantly late Victorian and Edwardian villas with characteristic verandahs, setbacks, and roof forms. Specifically, the Historic Area Statement refers to the elaborate verandahs amongst other features being important design elements of the historic architectural styles.

In the absence of justification, the proposal appears inconsistent with:

- Local Heritage Place Overlay PO 1.7, PO 2.1 and PO 6.1, which expect retention of features contributing to the heritage value of the place, avoiding additions that are obtrusive and dominant, and excluding the partial demolition of items that form part of the heritage listing and value; and
- Historic Area Overlay PO 7.1 – 7.3 which seek to avoid demolition of contributory elements that express the historic characteristics identified in the Historic Area Statement.

On this basis, the proposed demolition works may affect elements of historic significance and its contribution to the Historic Area and therefore be inconsistent with the relevant policy intent.

#### **Driveway and Crossover**

A new western driveway and vehicle crossing are proposed to Fourth Avenue. The site plan and survey show a stobie pole and street tree in the immediate vicinity of the new crossover location. The Design in Urban Areas policy (PO 23.4) expects vehicle access to be designed to maintain streetscape amenity and avoid conflicts with street infrastructure and trees.

Typically, a minimum separation of 2.0 metres is required between a driveway crossover and any street tree. The proximity in this case raises potential concerns regarding impacts on the tree's health and root system. As the tree is a Council asset, any works that may affect its health or stability would trigger a separate approval process under the *Local Government Act 1999* and require a further permit from Council.

#### **Tennis Court Lighting**

PO 6.1 of the Interface between Land Uses section within the Code seeks that external lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).

The tennis court drawings include four (4) 7.4 metre light poles and note that installation will meet AS 2560.2 and AS/NZS 4282. However, no photometric report is provided to demonstrate compliance relative to nearby residences, and specifically habitable room windows.



Given the sensitive residential context and the Historic Area, it would be a reasonable expectation to see further information from a suitably qualified lighting engineer and associated diagrams demonstrating compliance.

In similar circumstances, approvals have been conditioned to include restricted operating hours and automatic shut-off controls to ensure amenity impacts are minimised.

### **Trees and Arboriculture**

The Demolition Plan identifies removal of a regulated tree in the north-western corner. In the absence of an arborist report assessing species, trunk measurements, health, structure and risk, and considering alternatives to removal, it is not possible to conclude that removal satisfies the Regulated and Significant Tree Overlay policy outcomes that prioritise retention where trees contribute to character, amenity or biodiversity (PO 1.1, 1.3, and 1.4).

Furthermore, based on the information available it is also not clear whether the health of trees on adjoining land, particularly those in proximity to the proposed excavated basement have been assessed and whether their health may be compromised. It is also unclear whether other trees within the site proposed for removal have been accurately surveyed, and their legislative status appropriately determined.

We would consider that an independent arboriculture assessment is necessary in this circumstance.

### **Stormwater Management**

The Stormwater Management Overlay requires development to manage runoff at the source, including on-site retention or detention and fit-for-purpose water reuse such as rainwater tanks (PO 1.1 and DPF 1.1). The notified package does not include a stormwater strategy or drainage design.

Given the scale of basement works, extent of built form and hardstand, we would expect a Stormwater Management Plan that demonstrates compliance with Council standards and appropriate on-site management is necessary to demonstrate compliance.

### **Conclusion**

In summary, we find the proposed development is of a scale that is unsuitable for its context and fails to adequately address a number of critical planning and amenity issues, including:

- The double-volume addition reads as two-storeys, contrary to the one-level policy and low-rise character of the locality and Historic Area.



- The works are not subservient to Athol Lodge and involve unjustified demolition of what may constitute contributory fabric.
- The new crossover design may conflict with a street tree and stobie pole, affecting Council assets.
- Inadequate detail has been provided in respect to light-spill from the proposed tennis court lights (and operative controls) to determine the effect on sensitive areas of neighbouring residences.
- Tree removals and excavation impacts lack proper arboricultural assessment, appear to overlook neighbouring trees, and show minimal regard for the applicable policy framework.
- No drainage or detention design has been provided to demonstrate compliance with the Code and Council standards.

For these reasons, we respectfully submit that the application should be amended to resolve the above or refused in its current form.

Should the application proceed to a Council Assessment Panel decision-making hearing, we request notice of the time and date so we can provide verbal representation on our client's behalf.

Yours sincerely

Nick Wilson  
MasterPlan SA Pty Ltd



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December 2, 2025

Ned Feary  
 City of Norwood, Payneham and St Peters  
 Via: The PlanSA Portal

Dear Ned,

## APPLICATION 25028766

I have been instructed by the Applicant, Jordan Ormsby c/o Williams Burton Leopardi (WBL), to respond to the assertions made, and concerns raised, during the notification period. I have since reviewed the notification summary and note that:

- four (4) representations were made;
- one (1) representor, who offered qualified support for the proposed development, made three (3) separate representations from the same address, being (see Representations 1, 2 and 3);
- only these duplicate representations, that offered qualified support for the proposed development, relate to 'adjacent' properties; and
- only one (1) of the representors (see Representation 4) is opposed to the proposed development.

Further to above, and prior to setting out my formal response, I would also like to note the following:

- Representor 4 has not disclosed their client's address as part of their submission. This omission prevents any meaningful assessment of the potential impacts of the proposed development on their client and makes it difficult to offer concessions or compromises that could tangibly address their concerns.
- The Council's heritage advisor is understood to be supportive of the proposal, including its overall design merits and the elements proposed for both partial and full demolition.
- Representor 4, in their submission, has not provided any qualified advice from an independent heritage consultant that contradicts the Council's heritage advisor, nor the assertions made in the Heritage Impact Statement prepared by WBL.

My responses are set out, in no particular order, below and should be considered together with the updated compendium of drawings assembled by WBL. These documents have all been uploaded to the PlanSA Portal, together with my response.

### Building Height and Scale

Representor 4 has asserted that the proposed development is incongruent with the relevant Established Neighbourhood (EN) Zone, Historic Area Overlay and Local Heritage Area Overlay policies with respect to building height and scale.

Their concerns focus on the perceived two-storey appearance created by the "double-height volume" addition, its potential to dominate Athol Lodge rather than remain subservient, and its compatibility with

the prevailing low-rise character of the locality. They also contend that the proposal compounds the visual bulk of an existing outlier element within a predominantly single-storey neighbourhood.

In response to these assertions, I note that:

- Designated Performance Feature (DPF) 4.1 of the EN Zone contemplates, as Representor 4 has also noted, a maximum building height of one (1) 'building level', with no prescribed height in metres. The proposed addition will consist of one 'building level' and therefore satisfies the quantitative parameters that have been prescribed for this site;
- DPF 4.2 of the EN Zone seeks that additions and alterations are situated behind the front façade building line, which our proposal satisfies, and that second or subsequent building levels for additions are contemplated where they do not project beyond a 45-degree angle measured from ground level at the building line of the existing building. Again, while the proposed addition will comprise one building level, which satisfies the relevant Code policy, even if the addition were to comprise a second building level, the addition would be well outside of the 45-degree angle imposed by DPF 4.2, as illustrated in Figure 1 below:

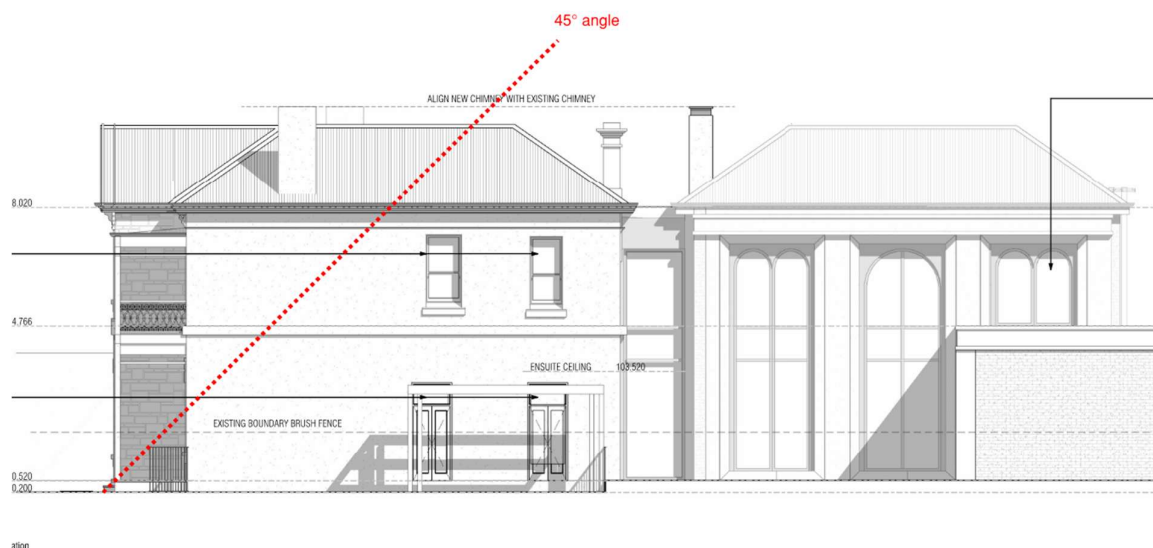


Figure 1: East elevation showing a 45-degree angle from the building line

Accordingly, it is abundantly clear that the proposed development is compliant with DPF 4.2 of the EN Zone and, by extension, PO 4.2 of the EN Zone, the latter of which calls for “*Additions and alterations (that) do not adversely impact on the streetscape character.*”

- the proposed development includes the demolition of the existing two-storey ancillary accommodation in the northern (rear) corner of the site (abutting Fifth Lane). This results in a net reduction of two-storey elements on the land, from two separate two-storey structures to one addition integrated with the main dwelling. If the representor's concerns regard the proliferation of two-storey buildings in a locality where single storey buildings are prevalent, then the outcome is beneficial in reducing such elements;
- the proposed addition will be located wholly behind the building line of the existing dwelling and will have limited visibility from Fifth Lane, which acts as a narrow, rear-access laneway and does not invite the same streetscape significance that is endemic to this locality. To this end, the proposed addition will not conceal the elements of the dwelling that form the primary heritage context;



- Representor 4 contends that, because the heritage impact statement describes the extension as having a ‘double-height volume’ and suggests it exceeds the one-storey character, the proposed addition cannot, by its nature, be considered “subservient” to the existing heritage-listed building. Firstly, PO 2.1 of the Local Heritage Place Overlay does not require additions to be “subservient”; rather, it seeks that they are “complementary.”

Secondly, neither “complementary” nor “subservient” should be interpreted as relating solely to height or scale. These terms can also encompass an element being visually and functionally secondary, ensuring it does not detract from the significance of the building to which it relates. Given that the portion of the proposed addition that is of the greatest concern to Representor 4 is located wholly behind the existing dwelling and its design is heavily influenced by the original Italianate style, it not only complements the appearance of the Local Heritage Place but also ensures that the primary heritage elements remain visually dominant. The addition reads as a secondary element in both function and prominence, reinforcing the primacy of Athol Lodge within the site and the streetscape. In this context, the proposed development clearly satisfies the intent of PO 2.1 of the Local Heritage Place Overlay.

Finally, even if “complementary” were interpreted as requiring a smaller built form outcome, this argument is weakened by the fact that both the existing dwelling and the ancillary accommodation, the latter of which is to be demolished as part of this application, are already two storeys in height, establishing a precedent for greater height on this site irrespective of the proposed addition.

- the site comprises two allotments, providing generous space and setbacks from adjoining properties to the north-east, south-west, and those opposite Fifth Lane to the north-west. This configuration ensures the proposed addition will appear recessive and unobtrusive when viewed from adjoining land and results in a significantly lower site coverage than is typical for nearby properties;
- with respect to concerns that the addition compounds the visual bulk of a so-called outlier element within a low-rise neighbourhood, it is important to note that the existing Local Heritage Place is already an outlier in terms of its scale. The proposed addition does not introduce a new dominant form; rather, it is positioned behind the existing dwelling and largely obscured from Fourth Avenue. Potential views from properties opposite the site on Fifth Lane are limited and filtered by rear-facing garages. Furthermore, the adjoining southern neighbour supports the proposal, and Representor 4 has not identified themselves as the adjoining north-east neighbour, who, in any case, will have very limited views of the proposed development due to substantial existing built form and mature plantings that traverse their south-western boundary. Accordingly, the proposed addition will not materially increase perceived bulk from any sensitive viewpoint; and
- the single storey portion of the proposed addition, that abuts the rear boundary of the site, will act as a visual buffer, partially screening the taller volume from street-level views along Fifth Lane.

### Demolition and Heritage Impacts

Representor 4 has raised concerns regarding the partial demolition of the existing dwelling, which is identified as a Local Heritage Place (“Athol Lodge”), particularly with respect to the side and rear verandahs and the potential impact on the building’s heritage significance and contribution to the Historic Area.

POs 7.1, 7.2, and 7.3 of the Historic Area Overlay generally seek to prevent the demolition of buildings, elements, or features that express the historic characteristics described in the Historic Area Statement, especially where they contribute to the streetscape. The Historic Area Statement for this locality



highlights verandahs as important elements; however, this reference is almost exclusively confined to front-facing verandahs that are elaborate and highly visible from the street.

The verandahs proposed for removal are minor structures located along the side and rear elevations of the dwelling, substantially set back from the Fourth Avenue and Fifth Lane frontages and have limited visibility to the public realm. Furthermore, it is readily apparent that they are neither elaborate nor have the same architectural or historic significance conveyed by the more ornate front balcony/verandah. Accordingly, the intent of the Historic Area Overlay policies and the Historic Area Statement is maintained.

Representor 4 also specifically refers to the proposed development being inconsistent with POs 1.7, 2.1, and 6.1 of the Local Heritage Place Overlay, and has listed many of the other policies that specifically relate to the design of new buildings and additions. While the majority of these listed policies mainly outline desirable complementary design characteristics, the representor's concerns appear focused on the proposed demolition of the side and rear verandahs as "elements of historic significance". Accordingly, this response focuses on addressing that issue as the principal matter raised.

With respect to the demolition of the verandahs of the Local Heritage Place, whilst I acknowledge that the heritage listing includes the "whole of exterior including front fence", a heritage review conducted in December 2002 by Bruce Harry and Associates, provided a more thorough description of "Athol Lodge" as follows:

*"A grand, two storey, asymmetrical villa on a large allotment with a projecting gable ended bay and ornate balcony/verandah. Walls are constructed of bluestone, random coursed with ornate rendered quoins, opening surrounds, and banding. The corrugated iron roof is hipped and gabled. The balcony/verandah is timber framed with cast iron frieze and balustrading. Eaves are bracketed."*

[My emphasis added]

The description clearly emphasises the front-facing balcony/verandah as the most prominent feature visible from the public realm and of the most importance with respect to the historic characteristics of the Local Heritage Place. While the side and rear verandahs may form part of the original Italianate design, these elements do not exhibit the same architectural prominence or decorative detailing as the front verandah, which remains untouched and continues to define the heritage character of the place.

As an aside, and to address concerns regarding the Local Heritage Place Overlay policies on complementary design, the proposed development has been carefully designed and sited to ensure that the principal heritage features remain dominant and contributory to the streetscape. The new works are sympathetic to, and influenced by, the Italianate style of Athol Lodge, ensuring that the heritage values of the Local Heritage Place are respected and maintained. The Heritage Impact Statement supplied by WBL at lodgement in support of the proposal attests to this and provides an adequate assessment against the relevant policies.

Additionally, we understand that the Council's heritage advisor is generally supportive of the design and has not raised any specific concerns with respect to the partial demolition of the Local Heritage Place.

### **Driveway and Crossover**

Representor 4 has raised concerns regarding the location of the proposed driveway crossover and its proximity to a Council street tree and stobie pole.



In response, the proposed driveway has been relocated to provide greater separation from these assets, and its width has been reduced to 3.5 metres. These changes are reflected on Page 9 of the compendium of drawings prepared by WBL.

### **Tennis Court Lighting**

Each of the representors have raised concerns regarding the potential light spill effects associated with the proposed tennis court lighting.

In response to these concerns, it should be noted that the Applicant has engaged Secon to prepare a light spill report to demonstrate that the proposed lighting will not adversely affect adjoining landowners. This report, along with the relevant documentation, will be submitted to the Council prior to the forthcoming Council Assessment Panel (**CAP**) meeting.

If this report is unable to be submitted prior to the forthcoming CAP meeting, the Applicant is willing to have this matter dealt with either as a reserved matter or by way of a condition, noting, of course, that AS/NZS 4282:2023 is commonly imposed by authorities to control the obtrusive effects of outdoor lighting.

### **Boundary Fencing**

Representors 1, 2 and 3 have raised concerns regarding a potential misprint on the compendium of drawings that is associated with the boundary brush fence that separates the site from the adjoining land at 31 Stephen Terrace, St Peters.

I can confirm that the existing brush fence which will not be removed or altered as a result of the proposed development.

### **Earthworks**

The concerns raised by Representors 1, 2 and 3 in relation to potential impacts of the proposed earthworks on adjoining structures, including cellars, are noted.

These matters are typically addressed during the building consent and construction phases. The Applicant is required to comply with the National Construction Code and South Australian building legislation, including engineered excavation/retention design, the SafeWork SA Excavation Work Code of Practice, and statutory notice obligations where stability of neighbouring land may be affected.

Industry-standard measures, such as pre-construction dilapidation surveys, vibration/settlement monitoring and construction management controls, will be implemented to protect adjoining property, as well as the Applicant themselves.

### **Trees and Arboriculture**

Representor 4 has raised concerns regarding the validity of the removal of a regulated tree in the north-western corner of the site as well as the potential impacts to the health of trees on land adjoining the site as a result of the proposed excavation.

In response to the regulated tree in the north-western corner, this matter was addressed in Council's Request for Further Information. Following advice from the City Arborist, Council has confirmed support for its removal, indicating that the proposal aligns with relevant policy considerations.



Additionally, Council sought further information regarding other trees proposed for removal within the site. Based on subsequent correspondence, it is understood that Council was satisfied that no other regulated trees would be affected by the development.

With respect to trees on adjoining land, if Council had considered that an independent arboricultural assessment was necessary to determine potential impacts, it is reasonable to conclude that such a requirement would have been raised as part of its internal referral process to the City Arborist.

### **Stormwater Management**

Representor 4 has noted the compendium of drawings prepared by WBL does not include a stormwater strategy or drainage design.

In response to this assertion, I note that you have, in your capacity as the assessing officer, since agreed that this matter can be dealt with as a reserved matter. The Applicant has also agreed to this arrangement.

If you have any queries regarding my overarching response or the application itself, please do not hesitate to contact me in the first instance.

Also, would you kindly confirm, in due course, the particulars of the CAP Meeting at which Application 25028766 will be determined, as I have been instructed by the Applicant to attend that meeting on their behalf.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'N. Giannakodakis', written in a cursive style.

**Nicholas Giannakodakis**  
Senior Consultant

# HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **54-56 Fourth Avenue St Peters**  
 APPLICATION NUMBER: **25028766**  
 DATE: 7 October 2025  
 PROPOSAL: Additions and Alterations  
 HERITAGE STATUS: LOCAL HERITAGE PLACE  
 HERITAGE ADVISOR: David Brown, BB Architects  
 PLANNER: Edmund Feary



City of  
Norwood  
Payneham  
& St Peters

## ADVICE SOUGHT

No pre Planning Consent advice has been sought from Council's Heritage Advisor by the applicant.

## DESCRIPTION

The building is a two storey Victorian Italianate bluestone asymmetrical villa built in 1882. The house is a Local Heritage Place in the Established Neighbourhood Zone within the Avenues Overlay.



## PROPOSAL

The proposal is to remove the existing additions and outbuildings, then to construct a generous single level addition, as well as an underground carpark under the tennis court. The additions are to the rear and side of the old dwelling and designed in a classical conservative style in a pared back design constructed from bagged brick and render.

## COMMENTS

The proposed additions and alterations are generally an acceptable outcome, as they strip away all the past additions and layering, and what is added back is a simple conservative design that respects the existing dwelling. The main portion of the addition is at the rear of the dwelling with a small masonry verandah structure on the southern side of the dwelling.

The underground parking is a reasonable distance from the existing dwelling, so is unlikely to impact the building structurally. The sloping driveway down is not a great outcome for the street as it is not really set back behind the dwelling.

## WORKS TO THE LOCAL HERITAGE PLACE

There are no works noted to the Local Heritage Place apart from painting the existing roof. There are quite a few non original details on the balcony (which appears to have mostly been rebuilt), and the feature barge on the main gable is missing some timber elements. It would likely have had a finial as well on the main gable, and the eaves lining on the gable needs some attention as well. The chimneys have also lost their decorative tops, so there is quite a significant restoration package that could be included to bring the house back to its original state.

## MATERIALS AND COLOURS

The materials and colours are a simple conservative selection of bagged brick, render, with black window frames and a dark grey roof. Generally that is all acceptable in this context. Confirmation of the roof colour is required. Noting that Monument is too dark. Confirmation of colours for the front of the dwelling including render colour, gutters, verandah and balcony framing, cast lace work, window and door frames.

**FENCING**

There are two new driveways gates proposed, including an additional masonry pillar. The note on the elevation states "to match existing". Clarification of what that means is needed. Is it two pairs of cast metal gates that match the front fence, or a derivation of that? Is the new pillar going to match exactly.

There are also notes on new Good Neighbour fencing, but no colour or profile are noted.

**PROPOSAL**

The proposed works are generally a good outcome for the Local Heritage Place. There could be a better outcome with a reasonable restoration scope of works to the original dwelling. A few minor elements need some confirmation as noted above.



- 6. DEVELOPMENT APPLICATIONS – DEVELOPMENT ACT**
- 7. REVIEW OF ASSESSMENT MANAGER DECISIONS**

**8. ERD COURT APPEALS**

**8.1 CONFIDENTIAL MATTER – ENVIRONMENT RESOURCE AND DEVELOPMENT  
COURT APPEAL – DEVELOPMENT APPLICATION ID 25003913**

## **9. OTHER BUSINESS**

### **9.1 SCHEDULE OF COUNCIL ASSESSMENT PANEL MEETINGS FOR 2026**

#### **PURPOSE OF REPORT**

The purpose of the report is to obtain the Panel's endorsement of the draft Schedule of Meetings of the Council Assessment Panel for the period January 2026 to December 2026.

#### **BACKGROUND**

Pursuant to Clause 1.2 of the Council Assessment Panel Meeting Procedures, ordinary meetings of the City of Norwood Payneham & St Peters Council Assessment Panel (CAP) will be held at such times and places as determined by the CAP.

The CAP previously determined the times and places of meetings up until December 2025, corresponding with the end of the calendar year. As a new calendar year is shortly to commence, it is necessary for the CAP to consider its meeting dates and times for 2026 to ensure we maximise the opportunity to secure a quorum for each meeting.

#### **DISCUSSION**

In the past, ordinary meetings of the Council Assessment Panel have been held commencing at 6.30pm on the third Monday of each month, unless otherwise determined by the Panel. In the event of a public holiday and / or the re-scheduling of a Council meeting which clashes with a scheduled Panel meeting, the Council has previously resolved that Panel meetings be held on the third Wednesday of the month.

A draft Schedule of Meetings for this period has been prepared for consideration by the Panel based on this practice of conducting Panel meetings on the third Monday of the month. A copy of the draft Schedule is attached (**Attachment A**).

This Schedule has worked well in the past and in order to ensure consistency with the Elected Member on the Panel, staff and the community, it is recommended that this schedule be followed, unless the time and date is such that one or more Members of the Panel is unable to attend the scheduled meetings on a regular basis.

The venue of the Council Chambers / Mayor's Parlour is also recommended, as it is considered conducive to the format and operation of a typical Panel meetings, and has the necessary IT equipment.

Please note, no part of this report or the attached schedule would prevent a special meeting of the Panel being called, in accordance with clauses 1.12, 1.13 and 1.14 of the Meeting Procedures.

#### **CONCLUSION**

Determination of the times and places for ordinary meetings of the Panel, will ensure compliance with the requirements of the Terms of Reference and enables administration to communicate these dates and times to the community.

#### **RECOMMENDATION**

1. That the Council Assessment Panel meetings for the 2026 calendar year be held in accordance with the Schedule of Council Assessment Panel Meetings attached to this report.

# Schedule of Council Assessment Panel Meetings January to December 2026

Day	Date	Year	Time	Location
Monday	19 January	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	16 February	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	16 March	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	20 April	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	18 May	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	15 June	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	20 July	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	17 August	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	21 September	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	19 October	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	16 November	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall
Monday	21 December	2026	6.30-11.00pm	Council Chambers, Norwood Town Hall

\* Meeting rescheduled due to a public holiday on the Monday.

\*\* Meeting rescheduled due to a change in meeting locations.

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City of  
Norwood  
Payneham  
& St Peters

- 10. CONFIDENTIAL REPORTS**
- 11. CLOSURE**